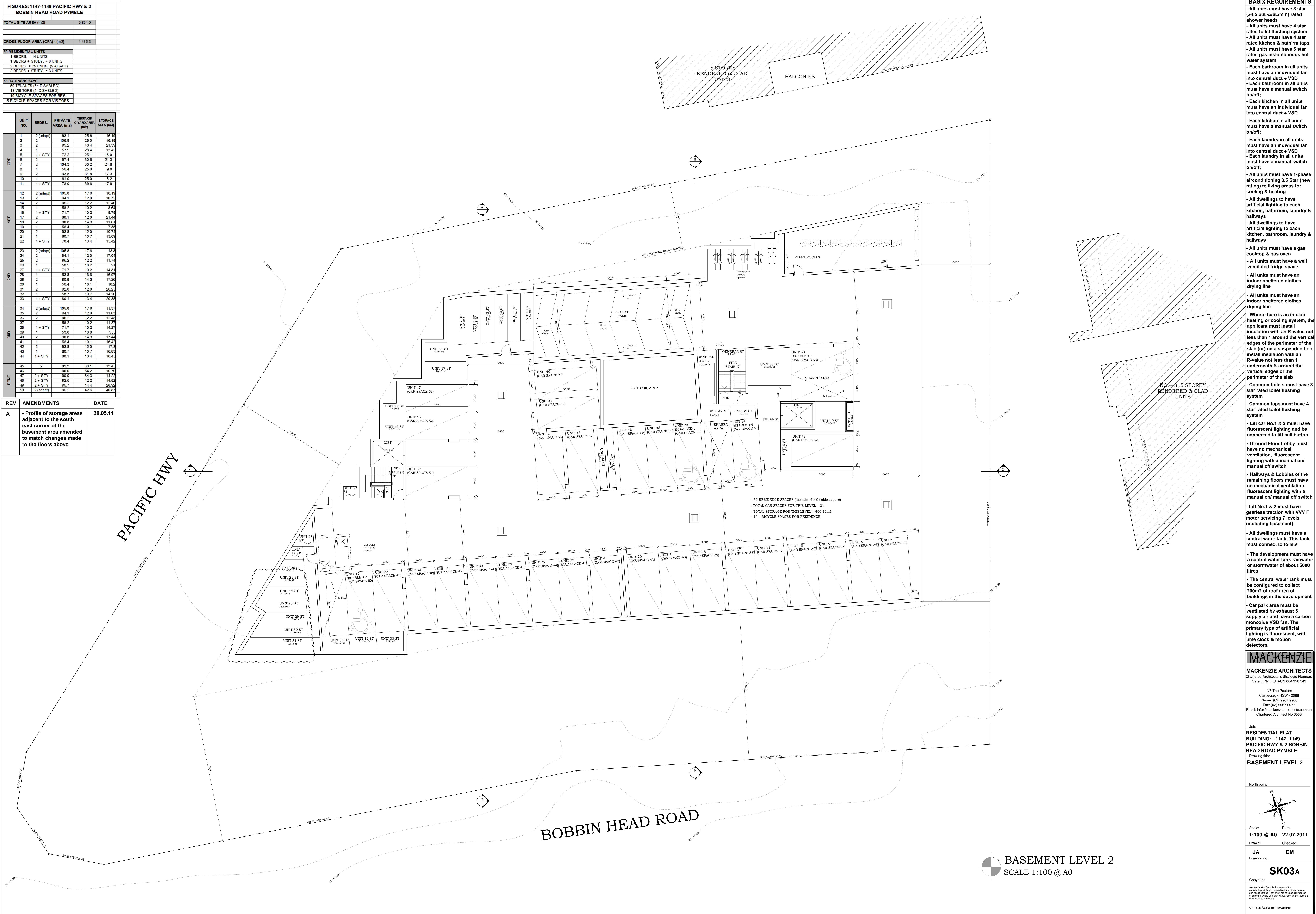


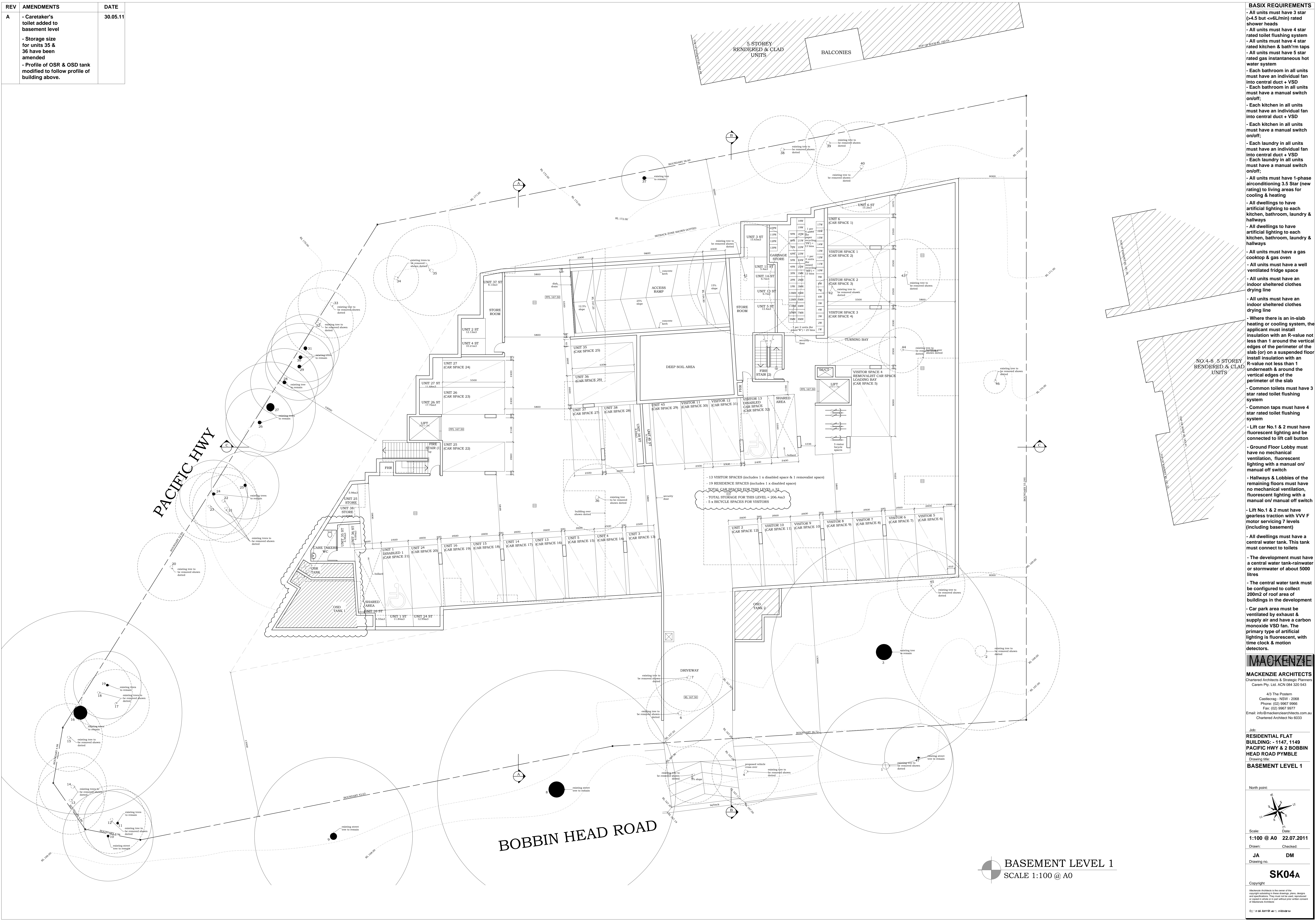
REV	AMENDMENTS	DATE
A	- Profile of storage areas adjacent to the south east corner of the basement area amended to match changes made to the floors above	30.05.11



- primary type of artificial lighting is fluorescent, with time clock & motion detectors.

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REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none"> - Caretaker's toilet added to basement level - Storage size for units 35 & 36 have been amended - Profile of OSR & OSD tank modified to follow profile of building above. 	30.05.11



- ### ASBIS REQUIREMENTS
- All units must have 3 star (<4.5 but >=3.0/min) rated exhaust fan head
 - All units must have 4 star rated toilet flushing system
 - All units must have 4 star rated kitchen & bath/rm taps
 - All units must have 5 star rated gas instantaneous hot water system
 - Each bathroom in all units must have an individual fan into central duct + VSD
 - Each bathroom in all units must have a manual switch on/off;
 - Each kitchen in all units must have an individual fan into central duct + VSD
 - Each kitchen in all units must have a manual switch on/off;
 - Each laundry in all units must have an individual fan into central duct + VSD
 - Each laundry in all units must have a manual switch on/off;
 - All units must have 1 new (phase 1) air conditioning 3.5 Star (new) with 1 star rated gas for cooling & heating
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
 - All units must have a gas cooktop & gas oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - All units must have an indoor sheltered clothes drying line
 - Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value not less than 1.0 around the vertical edges of the perimeter of the slab (or) on a suspended floor install insulation with an R-value not less than 1.0 underneath & around the vertical edges of the perimeter of the slab
 - Common toilets must have 3 star rated toilet flushing system
 - Common taps must have 4 star rated toilet flushing system
 - Lift car No.1 & 2 must have fluorescent lighting and be connected to lift call button
 - Ground Floor Lobby must have no mechanical ventilation, fluorescent lighting with a manual on/off switch
 - Hallways & Loubies of the remaining floors must have no mechanical ventilation, fluorescent lighting with a manual on/off switch
 - Lift No.1 & 2 must have gearless traction with VVV F & 2 star rated service levels (including basement)
 - All dwellings must have a central water tank. This tank must connect to toilets
 - The development must have a central water tank-rainwater or stormwater of about 5000 litres
 - The central water tank must be configured to collect 200mc of roof area of the building in development
 - Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion detectors.

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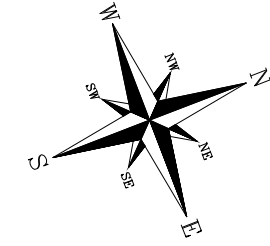
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Chartered Architect No 6033

Job:
RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE

BASEMENT LEVEL 1

North point:



Scale: 1:100 @ A0 Date: 22.07.2011

Drawn: _____ Checked: _____

JA DM
Drawing no.

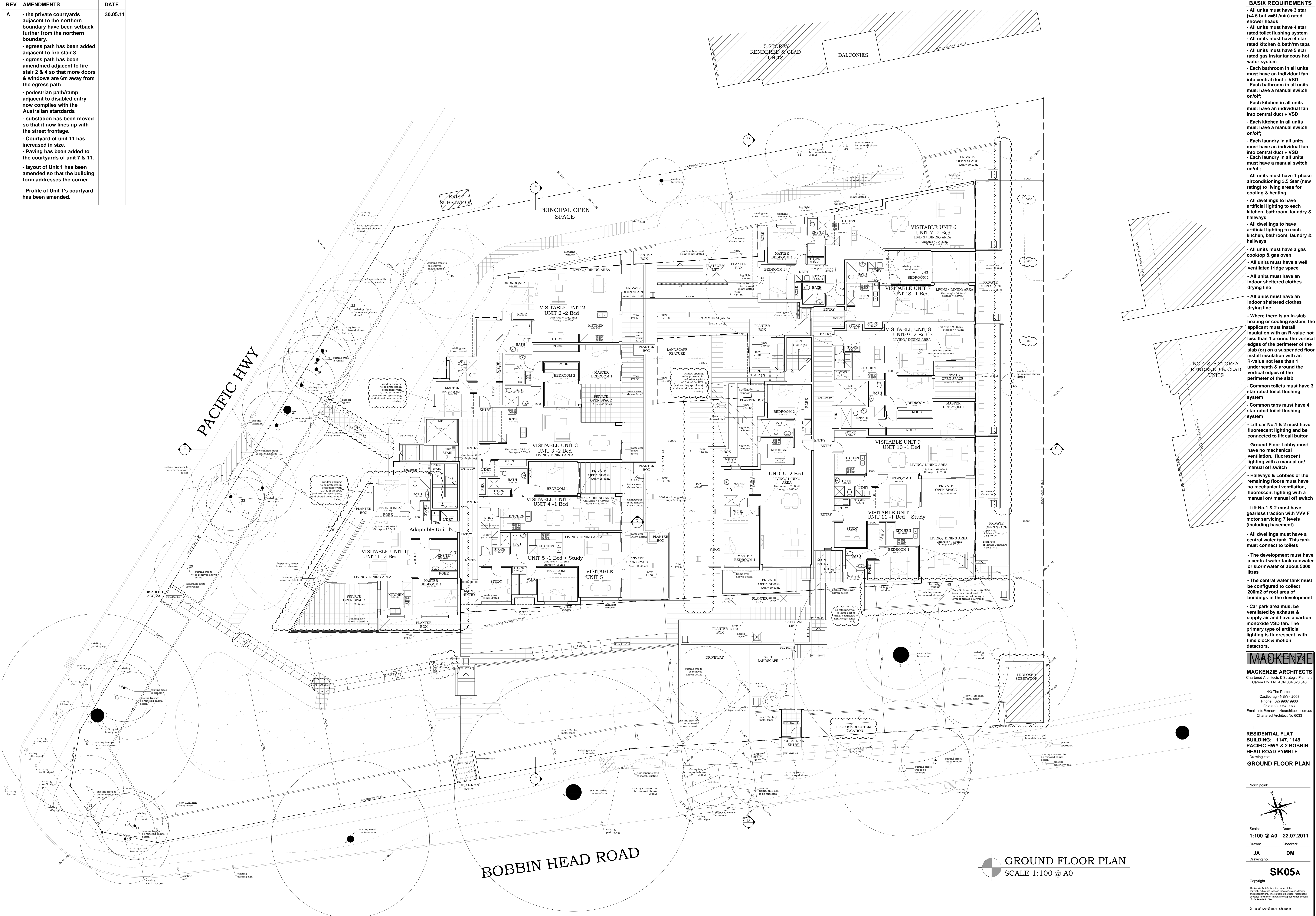
SK04A

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Ö(1) ist ein \mathbb{A}^1 -homotopieäquivalenz

REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- pedestrian path/ramp adjacent to disabled entry now complies with the Australian startdards- substation has been moved so that it now lines up with the street frontage.- Courtyard of unit 11 has increased in size.- Paving has been added to the courtyards of unit 7 & 11.- layout of Unit 1 has been amended so that the building form addresses the corner.- Profile of Unit 1's courtyard has been amended.	30.05.11



BASIS REQUIREMENTS

- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
- All units must have 4 star rated toilet flushing system
- All units must have 4 star rated kitchen & bath/rm taps
- All units must have 5 star rated gas instantaneous hot water system
- Each bathroom in all units must have an individual fan into central duct + VSD
- Each bathroom in all units must have a manual switch on/off;
- Each kitchen in all units must have an individual fan into central duct + VSD
- Each kitchen in all units must have a manual switch on/off;
- Each laundry in all units must have an individual fan into central duct + VSD
- Each laundry in all units must have a manual switch on/off;
- All units must have 1-phase airconditioning 3.5 Star (new rating) to living areas for cooling & heating
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All units must have a gas cooktop & gas oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- All units must have an indoor sheltered clothes drying line
- Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value not less than 1 around the vertical edges of the perimeter of the slab (or) on a suspended floor install insulation with an R-value not less than 1 underneath & around the vertical edges of the perimeter of the slab
- Common toilets must have 3 star rated toilet flushing system
- Common taps must have 4 star rated toilet flushing system
- Lift car No.1 & 2 must have fluorescent lighting and be connected to lift call button
- Ground Floor Lobby must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Hallways & Lobbies of the remaining floors must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Lift No.1 & 2 must have gearless traction with VVF F motor servicing 7 levels (including basement)
- All dwellings must have a central water tank. This tank must connect to toilets
- The development must have a central water tank-rainwater or stormwater of about 5000 litres
- The central water tank must be configured to collect 200m2 of roof area of buildings in the development
- Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion detectors.

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Chartered Architect No 6033

Job:
RESIDENTIAL FLAT BUILDING - 1147, 1149 PACIFIC HWY & 2 BOBBIN HEAD ROAD PYMBLE
Drawing title:
GROUND FLOOR PLAN

North point:

Scale: 1:100 @ A0
Date: 22.07.2011
Drawn: JA
Checked: DM
Drawing no. SK05A

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REV	AMENDMENTS	DATE
A	- layout of Unit 12 has been amended so that the building form addresses the corner.	30.05.11



FIRST FLOOR PLAN
SCALE 1:100 @ A0

BASIC REQUIREMENTS

- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
- All units must have 4 star rated toilet flushing system
- All units must have 4 star rated kitchen & bath/rm taps
- All units must have 5 star rated gas instantaneous hot water system
- Each bathroom in all units must have an individual fan into central duct + VSD
- Each bathroom in all units must have a manual switch on/off;
- Each kitchen in all units must have an individual fan into central duct + VSD
- Each kitchen in all units must have a manual switch on/off;
- Each laundry in all units must have an individual fan into central duct + VSD
- Each laundry in all units must have a manual switch on/off;
- All units must have 1-phase airconditioning 3.5 Star (new rating) to living areas for cooling & heating
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All units must have a gas cooktop & gas oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- All units must have an indoor sheltered clothes drying line
- Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value not less than 1 around the vertical edges of the perimeter of the slab (or) on a suspended floor install insulation with an R-value not less than 1 underneath & around the vertical edges of the perimeter of the slab
- Common toilets must have 3 star rated toilet flushing system
- Common taps must have 4 star rated toilet flushing system
- Lift car No.1 & 2 must have fluorescent lighting and be connected to lift call button
- Ground Floor Lobby must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Hallways & Lobbies of the remaining floors must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Lift No.1 & 2 must have gearless traction with VVVF motor servicing 7 levels (including basement)
- All dwellings must have a central water tank. This tank must connect to toilets
- The development must have a central water tank-rainwater or stormwater of about 5000 litres
- The central water tank must be configured to collect 200m2 of roof area of buildings in the development
- Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion detectors.

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Chartered Architect No 6003

Job:
RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
FIRST FLOOR PLAN

North point:

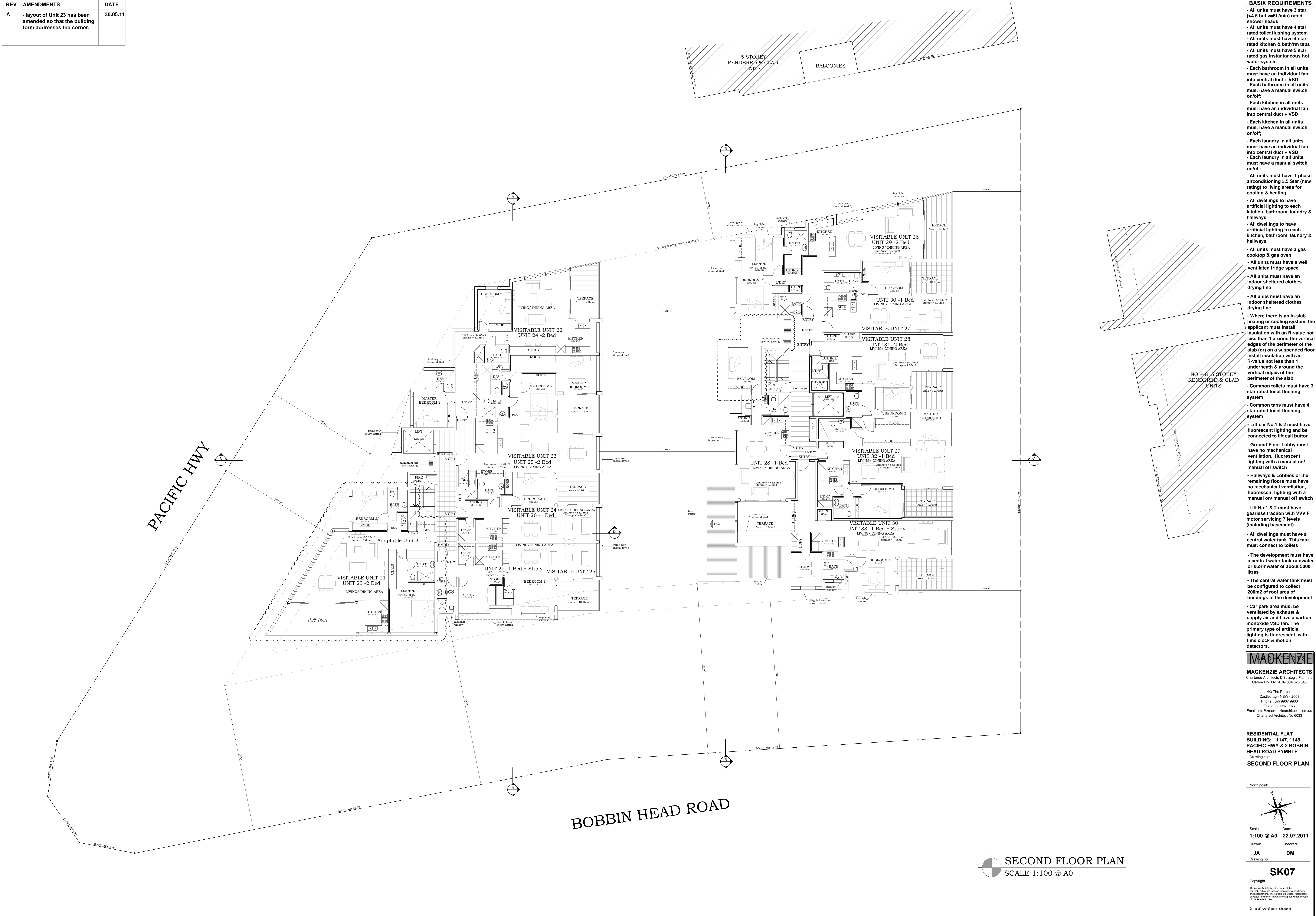
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Drawing no. **SK06A**

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REV	AMENDMENTS	DATE
A	- layout of Unit 23 has been amended so that the building form addresses the corner.	30.05.11



BASIC REQUIREMENTS

- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
- All units must have 4 star rated toilet flushing system
- All units must have 4 star rated kitchen & bath/rm taps
- All units must have 5 star rated gas instantaneous hot water system
- Each bathroom in all units must have an individual fan into central duct + VSD
- Each bathroom in all units must have a manual switch on/off;
- Each kitchen in all units must have an individual fan into central duct + VSD
- Each kitchen in all units must have a manual switch on/off;
- Each laundry in all units must have an individual fan into central duct + VSD
- Each laundry in all units must have a manual switch on/off;
- All units must have 1-phase airconditioning 3.5 Star (new rating) to living areas for cooling & heating
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All units must have a gas cooktop & gas oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- All units must have an indoor sheltered clothes drying line
- Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value not less than 1 around the vertical edges of the perimeter of the slab (or) on a suspended floor install insulation with an R-value not less than 1 underneath & around the vertical edges of the perimeter of the slab
- Common toilets must have 3 star rated toilet flushing system
- Common taps must have 4 star rated toilet flushing system
- Lift car No.1 & 2 must have fluorescent lighting and be connected to lift call button
- Ground Floor Lobby must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Hallways & Lobbies of the remaining floors must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Lift No.1 & 2 must have gearless traction with VVV F motor servicing 7 levels (including basement)
- All dwellings must have a central water tank. This tank must connect to toilets
- The development must have a central water tank-rainwater or stormwater of about 5000 litres
- The central water tank must be configured to collect 200m2 of roof area of buildings in the development
- Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion detectors.

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Chartered Architect No 6003

RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
SECOND FLOOR PLAN
North point:

Scale: 1:100 @ A0 Date: 22.07.2011
Drawn: JA Checked: DM
Drawing no. **SK07**
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REV	AMENDMENTS	DATE
A	- layout of Unit 34 has been amended so that the building form addresses the corner.	30.05.11



THIRD FLOOR PLAN
SCALE 1:100 @ A0

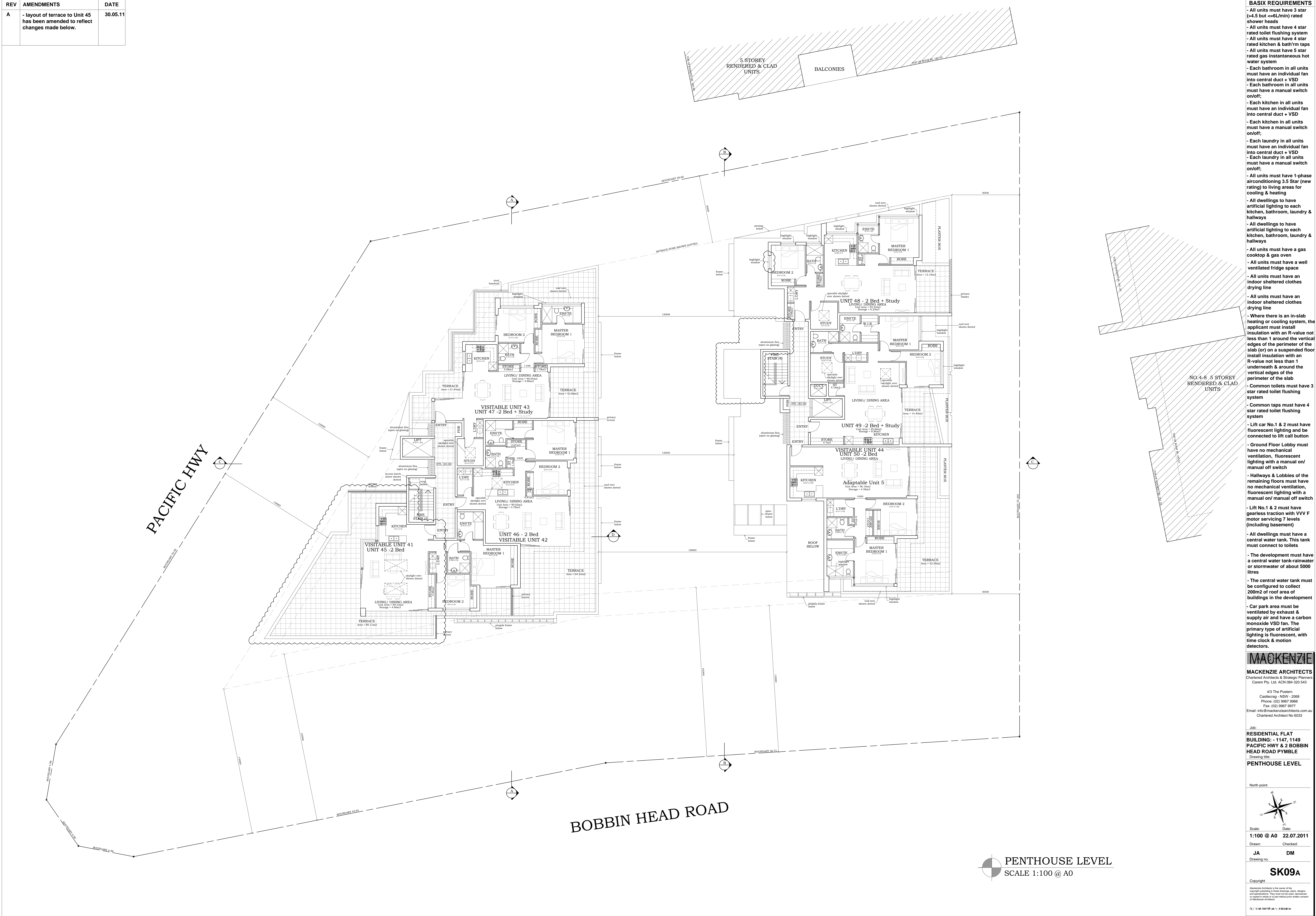
BASIX REQUIREMENTS

- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
- All units must have 4 star rated toilet flushing system
- All units must have 4 star rated kitchen & bath/rm taps
- All units must have 5 star rated gas instantaneous hot water system
- Each bathroom in all units must have an individual fan into central duct + VSD
- Each bathroom in all units must have a manual switch on/off;
- Each kitchen in all units must have an individual fan into central duct + VSD
- Each kitchen in all units must have a manual switch on/off;
- Each laundry in all units must have an individual fan into central duct + VSD
- Each laundry in all units must have a manual switch on/off;
- All units must have 1-phase airconditioning 3.5 Star (new rating) to living areas for cooling & heating
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All units must have a gas cooktop & gas oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- All units must have an indoor sheltered clothes drying line
- Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value not less than 1 around the vertical edges of the perimeter of the slab (or) on a suspended floor install insulation with an R-value not less than 1 underneath & around the vertical edges of the perimeter of the slab
- Common toilets must have 3 star rated toilet flushing system
- Common taps must have 4 star rated toilet flushing system
- Lift car No.1 & 2 must have fluorescent lighting and be connected to lift call button
- Ground Floor Lobby must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Hallways & Lobbies of the remaining floors must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Lift No.1 & 2 must have gearless traction with VVV F motor servicing 7 levels (including basement)
- All dwellings must have a central water tank. This tank must connect to toilets
- The development must have a central water tank-rainwater or stormwater of about 5000 litres
- The central water tank must be configured to collect 200m2 of roof area of buildings in the development
- Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion detectors.

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Email: info@mackenziearchitects.com.au
Chartered Architect No 6003
Job:
RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
THIRD FLOOR PLAN
North point:

Scale: 1:100 @ A0 Date: 22.07.2011
Drawn: JA Checked: DM
Drawing no. **SK08A**
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REV	AMENDMENTS	DATE
A	- layout of terrace to Unit 45 has been amended to reflect changes made below.	30.05.11



PENTHOUSE LEVEL
SCALE 1:100 @ A0

BASIC REQUIREMENTS

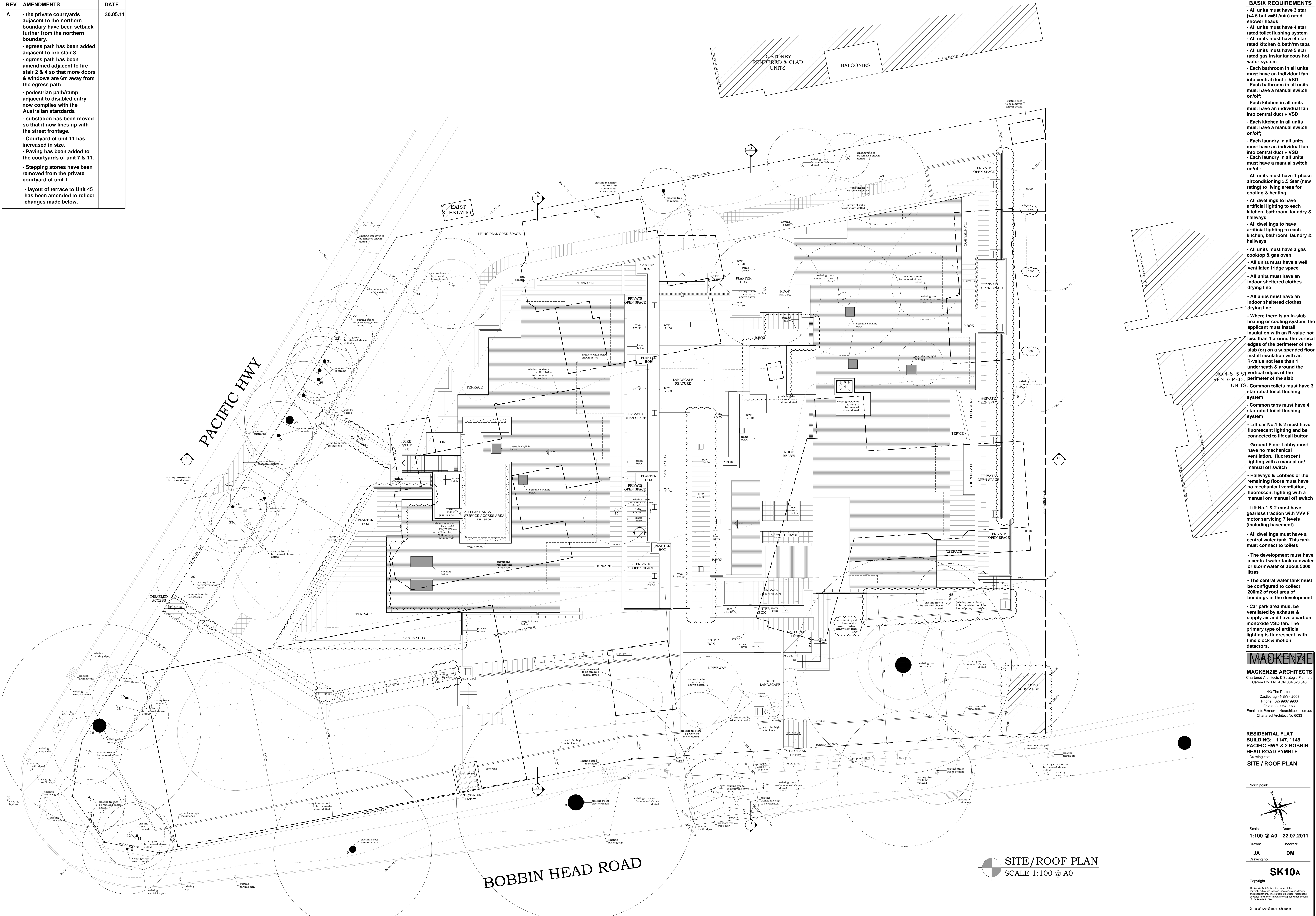
- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
- All units must have 4 star rated toilet flushing system
- All units must have 4 star rated kitchen & bath/rm taps
- All units must have 5 star rated gas instantaneous hot water system
- Each bathroom in all units must have an individual fan into central duct + VSD
- Each bathroom in all units must have a manual switch on/off;
- Each kitchen in all units must have an individual fan into central duct + VSD
- Each kitchen in all units must have a manual switch on/off;
- Each laundry in all units must have an individual fan into central duct + VSD
- Each laundry in all units must have a manual switch on/off;
- All units must have 1-phase airconditioning 3.5 Star (new rating) to living areas for cooling & heating
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All units must have a gas cooktop & gas oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- All units must have an indoor sheltered clothes drying line
- Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value not less than 1 around the vertical edges of the perimeter of the slab (or) on a suspended floor install insulation with an R-value not less than 1 underneath & around the vertical edges of the perimeter of the slab
- Common toilets must have 3 star rated toilet flushing system
- Common taps must have 4 star rated toilet flushing system
- Lift car No.1 & 2 must have fluorescent lighting and be connected to lift call button
- Ground Floor Lobby must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Hallways & Lobbies of the remaining floors must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Lift No.1 & 2 must have gearless traction with VVV F motor servicing 7 levels (including basement)
- All dwellings must have a central water tank. This tank must connect to toilets
- The development must have a central water tank-rainwater or stormwater of about 5000 litres
- The central water tank must be configured to collect 200m2 of roof area of buildings in the development
- Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion detectors.

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Chartered Architect No 6003

RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
PENTHOUSE LEVEL
North point:

Scale: 1:100 @ A0
Date: 22.07.2011
Drawn: JA
Checked: DM
Drawing no.
SK09A
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REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- pedestrian path/ramp adjacent to disabled entry now complies with the Australian startdards- substation has been moved so that it now lines up with the street frontage.- Courtyard of unit 11 has increased in size.- Paving has been added to the courtyards of unit 7 & 11.- Stepping stones have been removed from the private courtyard of unit 1- layout of terrace to Unit 45 has been amended to reflect changes made below.	30.05.11



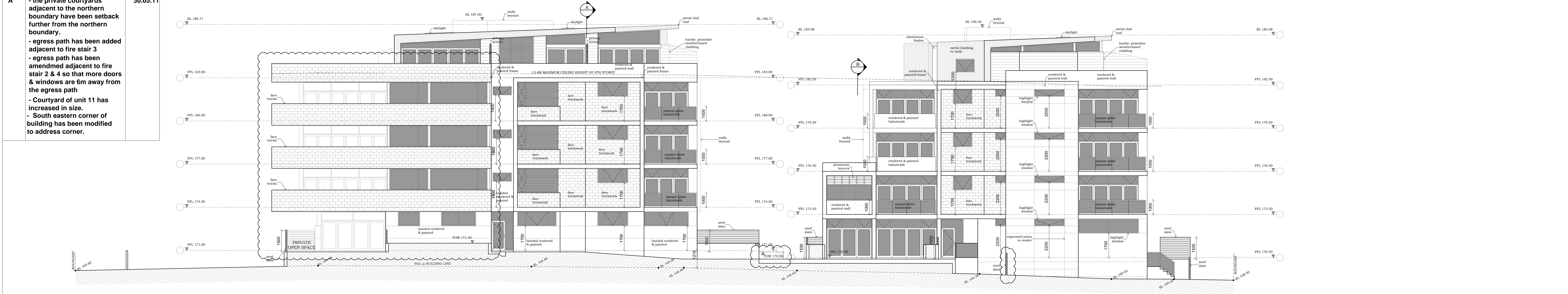
BASIS REQUIREMENTS

- All units must have 3 star (>4.5 but <=6L/min) rated shower heads
- All units must have 4 star rated toilet flushing system
- All units must have 4 star rated kitchen & bath/rm taps
- All units must have 5 star rated gas instantaneous hot water system
- Each bathroom in all units must have an individual fan into central duct + VSD
- Each bathroom in all units must have a manual switch on/off;
- Each kitchen in all units must have an individual fan into central duct + VSD
- Each kitchen in all units must have a manual switch on/off;
- Each laundry in all units must have an individual fan into central duct + VSD
- Each laundry in all units must have a manual switch on/off;
- All units must have 1-phase airconditioning 3.5 Star (new rating) to living areas for cooling & heating
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry & hallways
- All units must have a gas cooktop & gas oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- All units must have an indoor sheltered clothes drying line
- Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value not less than 1 around the vertical edges of the perimeter of the slab (or) on a suspended floor install insulation with an R-value not less than 1 underneath & around the vertical edges of the perimeter of the slab
- Common toilets must have 3 star rated toilet flushing system
- Common taps must have 4 star rated toilet flushing system
- Lift car No.1 & 2 must have fluorescent lighting and be connected to lift call button
- Ground Floor Lobby must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Hallways & Lobbies of the remaining floors must have no mechanical ventilation, fluorescent lighting with a manual on/ manual off switch
- Lift No.1 & 2 must have gearless traction with VV F motor servicing 7 levels (including basement)
- All dwellings must have a central water tank. This tank must connect to toilets
- The development must have a central water tank-rainwater or stormwater of about 5000 litres
- The central water tank must be configured to collect 200m2 of roof area of buildings in the development
- Car park area must be ventilated by exhaust & supply air and have a carbon monoxide VSD fan. The primary type of artificial lighting is fluorescent, with time clock & motion detectors.

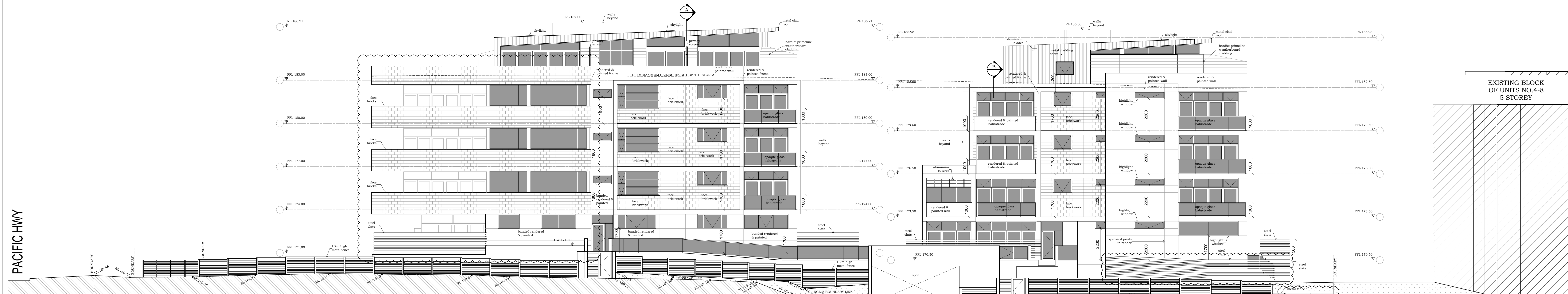
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Email: info@mackenziearchitects.com.au
Chartered Architect No 6033
Job:
RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
SITE / ROOF PLAN
North point:

Scale: 1:100 @ A0 Date: 22.07.2011
Drawn: JA Checked: DM
Drawing no. **SK10A**
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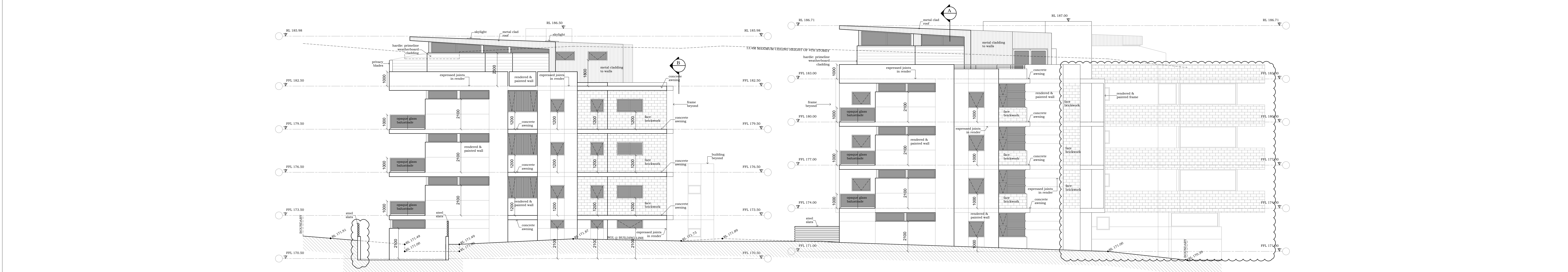
REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- Courtyard of unit 11 has increased in size.- South eastern corner of building has been modified to address corner.	30.05.11



EAST ELEVATION
SCALE 1:100 @ A0



BOBBIN HEAD RD ELEVATION
SCALE 1:100 @ A0



WEST ELEVATION
SCALE 1:100 @ A0

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Chartered Architect No 6003

Job:
**RESIDENTIAL FLAT
BUILDING - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE**
Drawing title:
ELEVATIONS

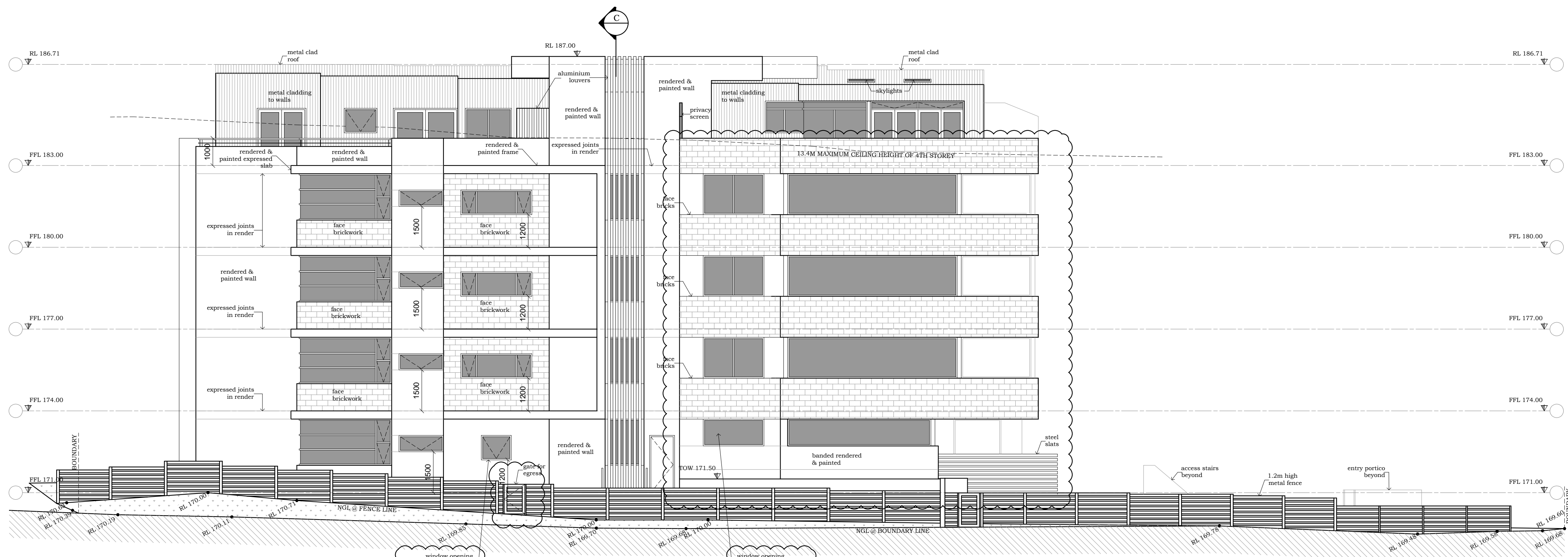
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Scale: 1:100 @ A0
Date: 22.07.2011
Drawn: JA
Checked: DM
Drawing no.

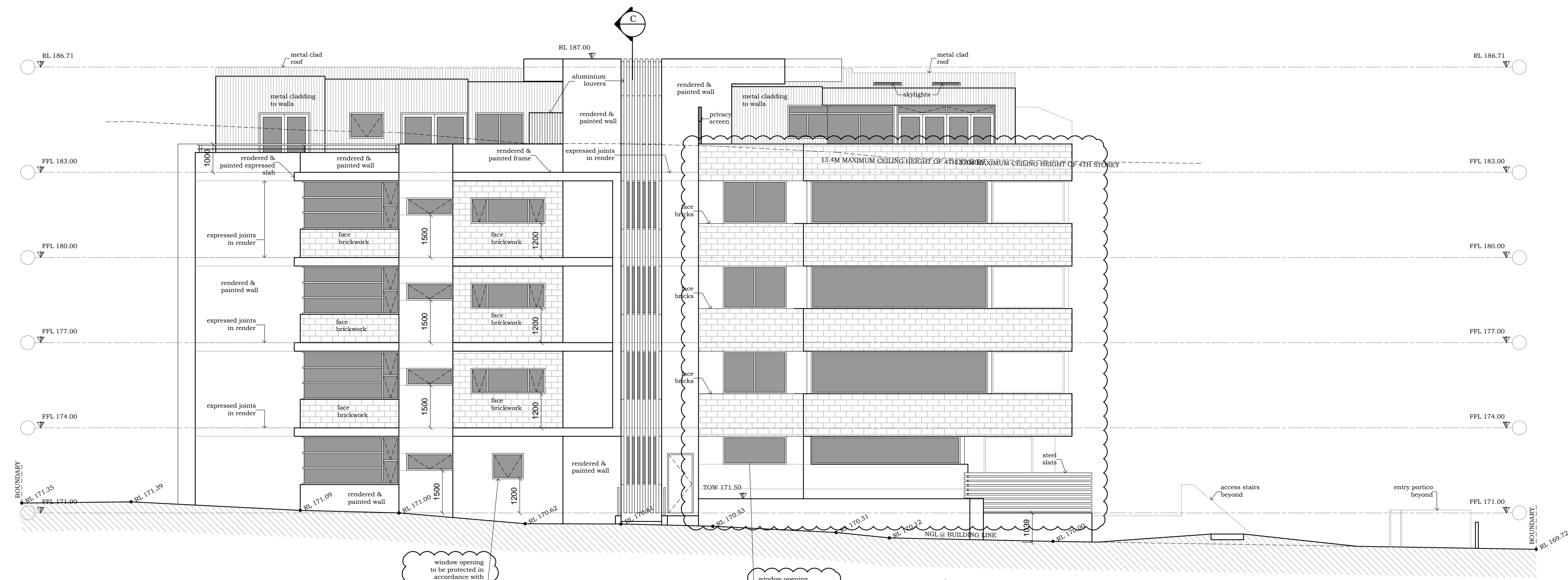
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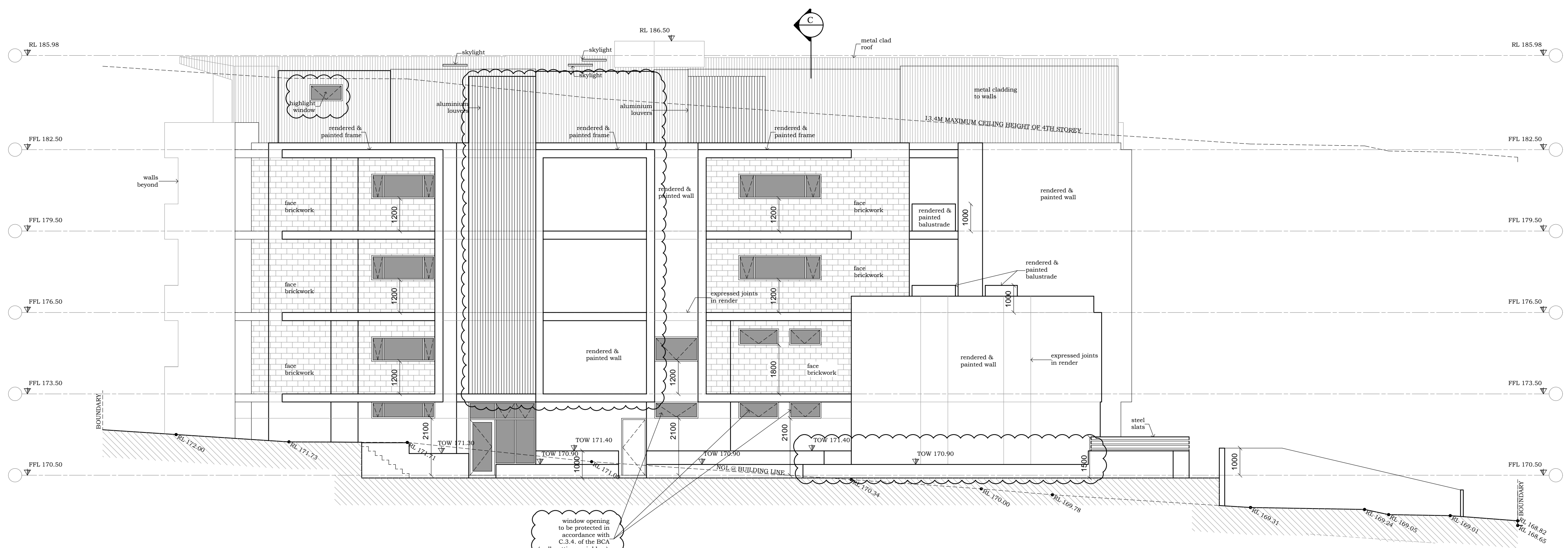
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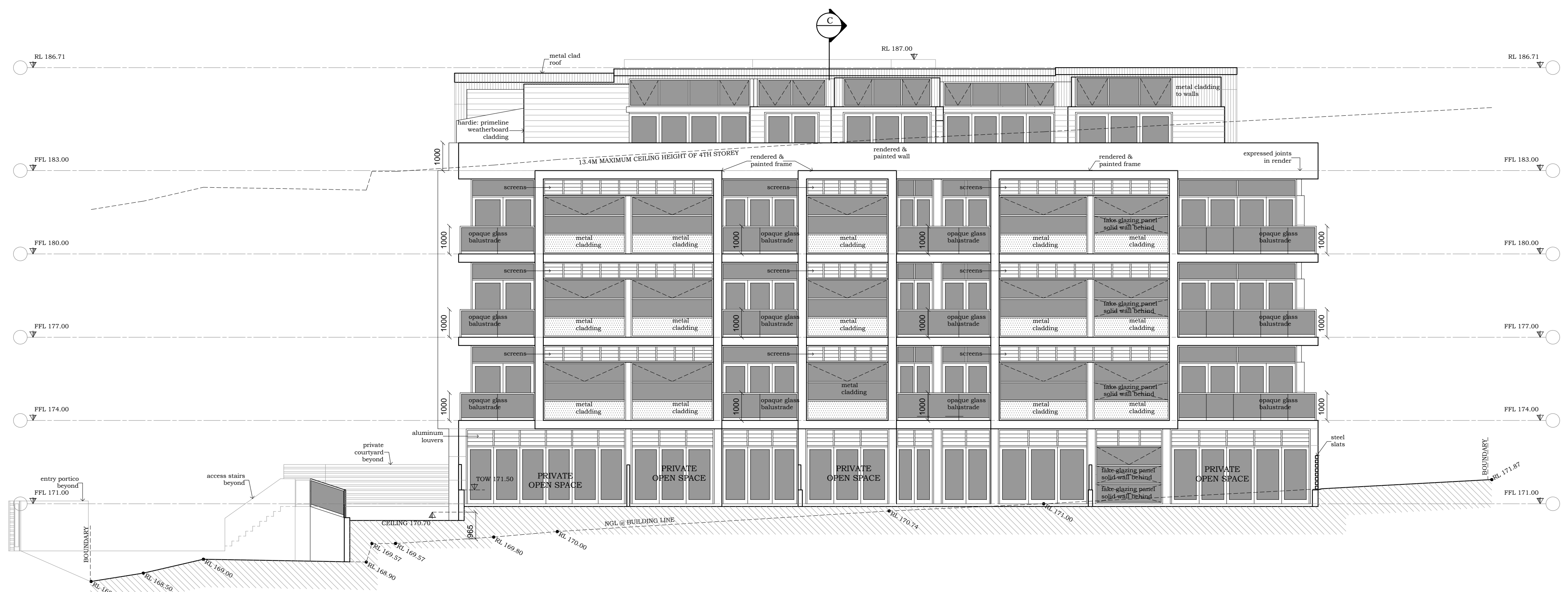
PACIFIC HWY ELEVATION
SCALE 1:100 @ A0



SOUTH ELEVATION
SCALE 1:100 @ A0



SOUTH ELEVATION (OF NORTHERN BLOCK)
SCALE 1:100 @ A0



NORTH ELEVATION OF SOUTHERN BLOCK
SCALE 1:100 @ A0



NORTH ELEVATION (OF NORTHERN BLOCK)
SCALE 1:100 @ A0

REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- pedestrian path/ramp adjacent to disabled entry now complies with the Australian startdards- substation has been moved so that it now lines up with the street frontage.- Courtyard of unit 11 has increased in size.- Paving has been added to the courtyards of unit 7 & 11.- Stepping stones have been removed from the private courtyard of unit 1- South eastern corner of building has been modified to address the corner.	30.05.11

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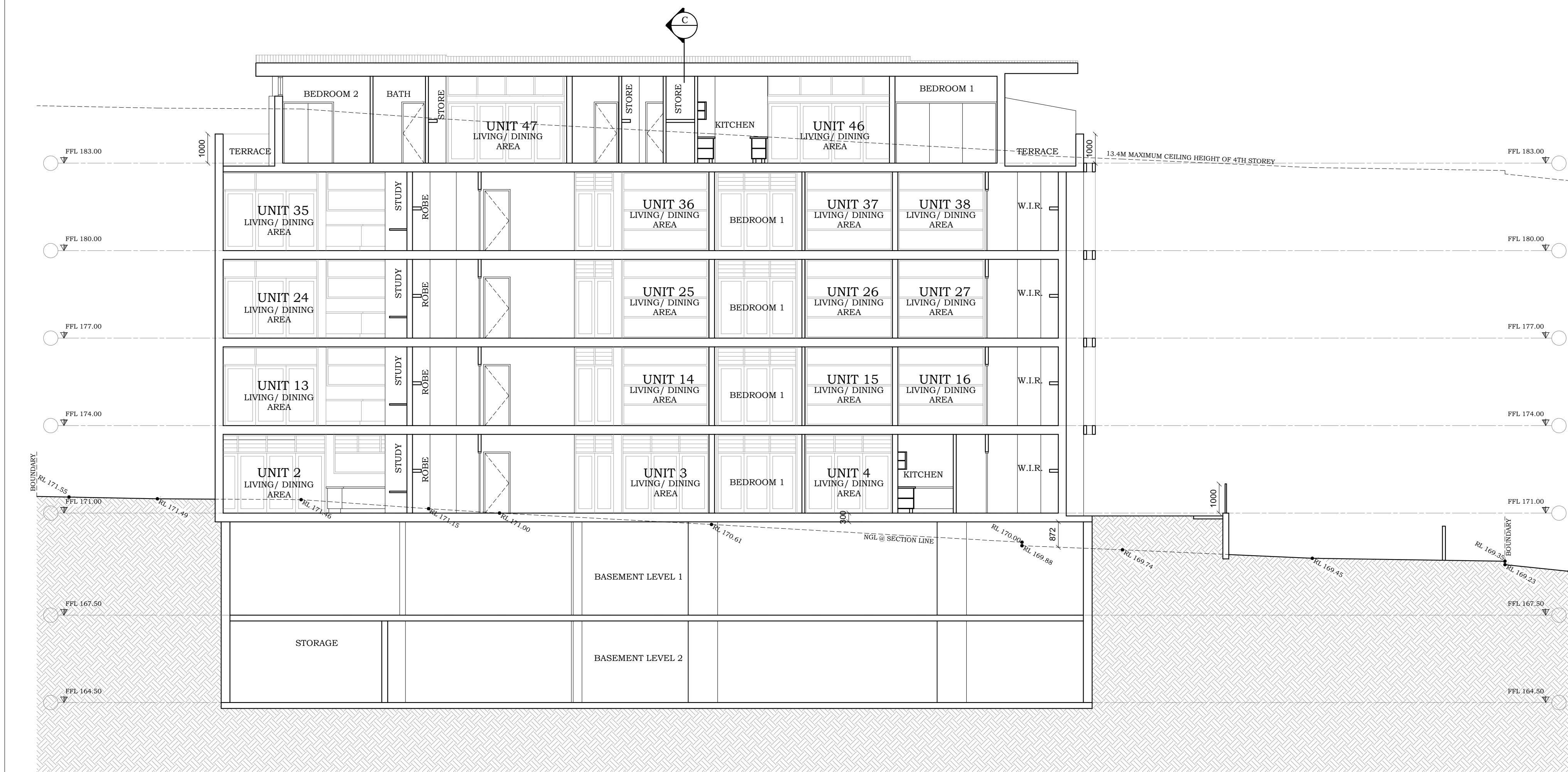
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Chartered Architect No 6003

Job:
**RESIDENTIAL FLAT
BUILDING - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE**
Drawing title:
ELEVATIONS (2)

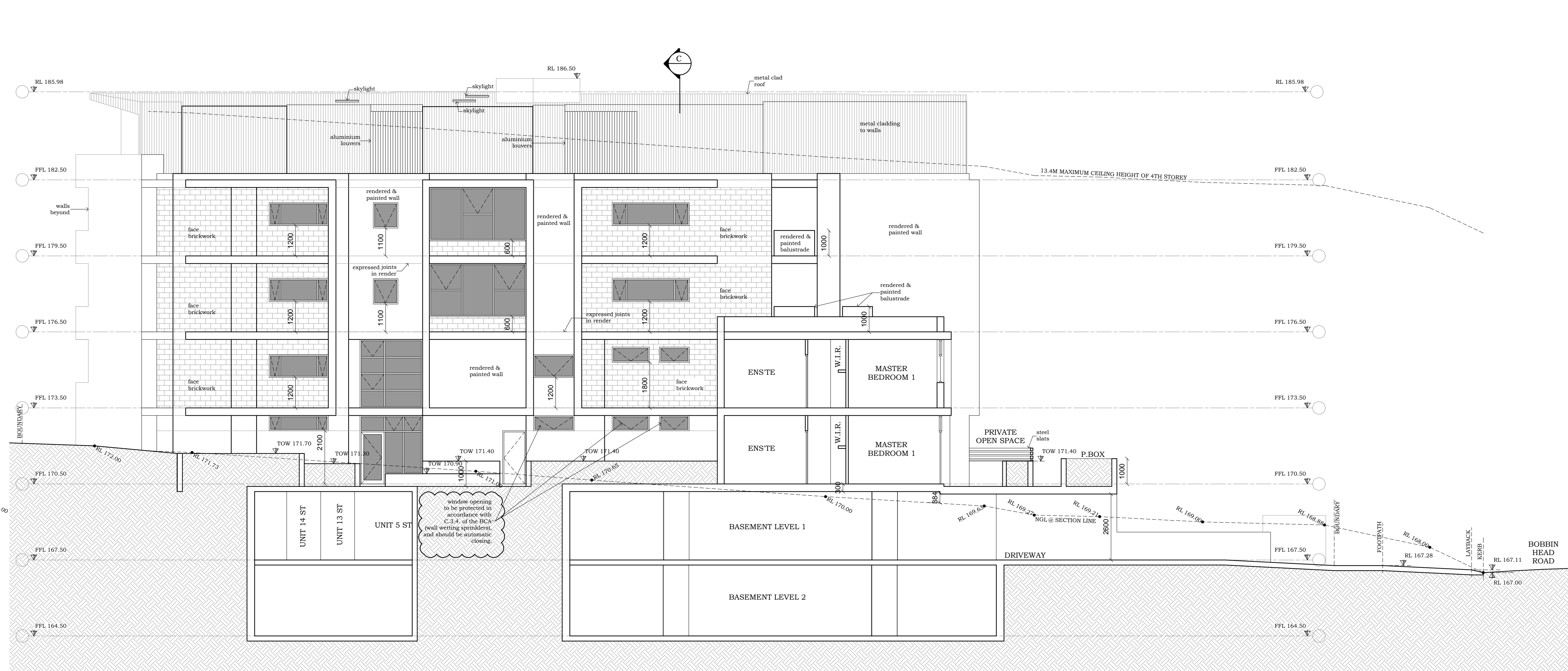
North point:

Scale: 1:100 @ A0
Date: 22.07.2011
Drawn: JA
Checked: DM
Drawing no.

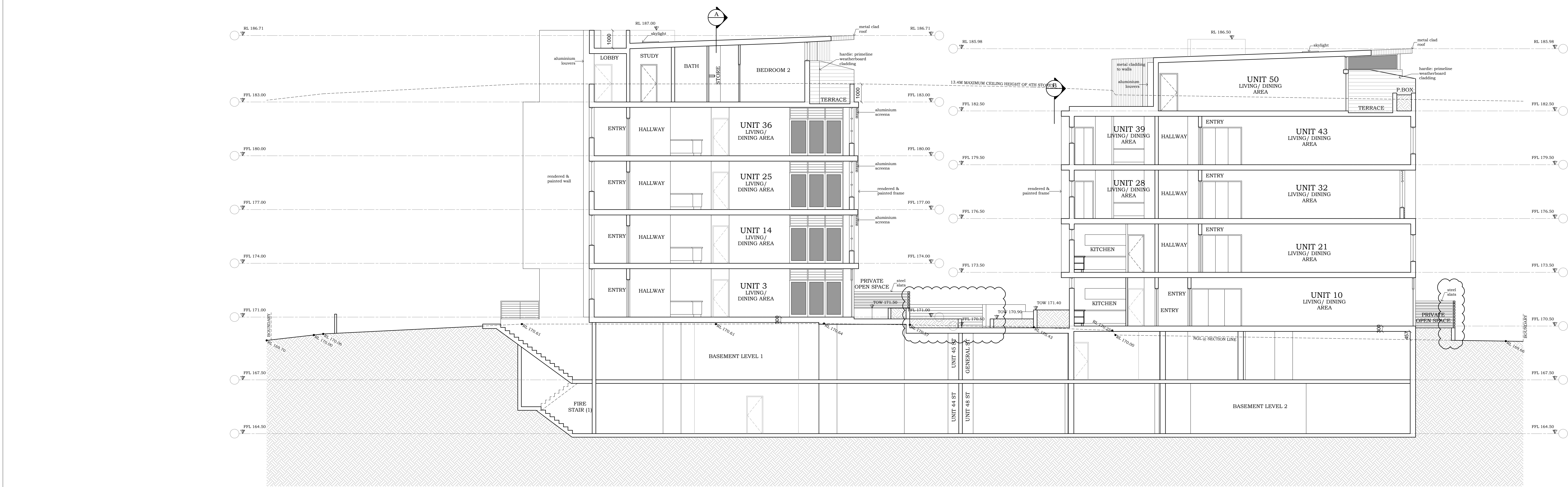
SK12A
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SECTION A-A'
SCALE 1:100 @ A0



SECTION B-B'
SCALE 1:100 @ A0



SECTION C-C'
SCALE 1:100 @ A0

REV	AMENDMENTS	DATE
A	- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary. - egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path	30.05.11

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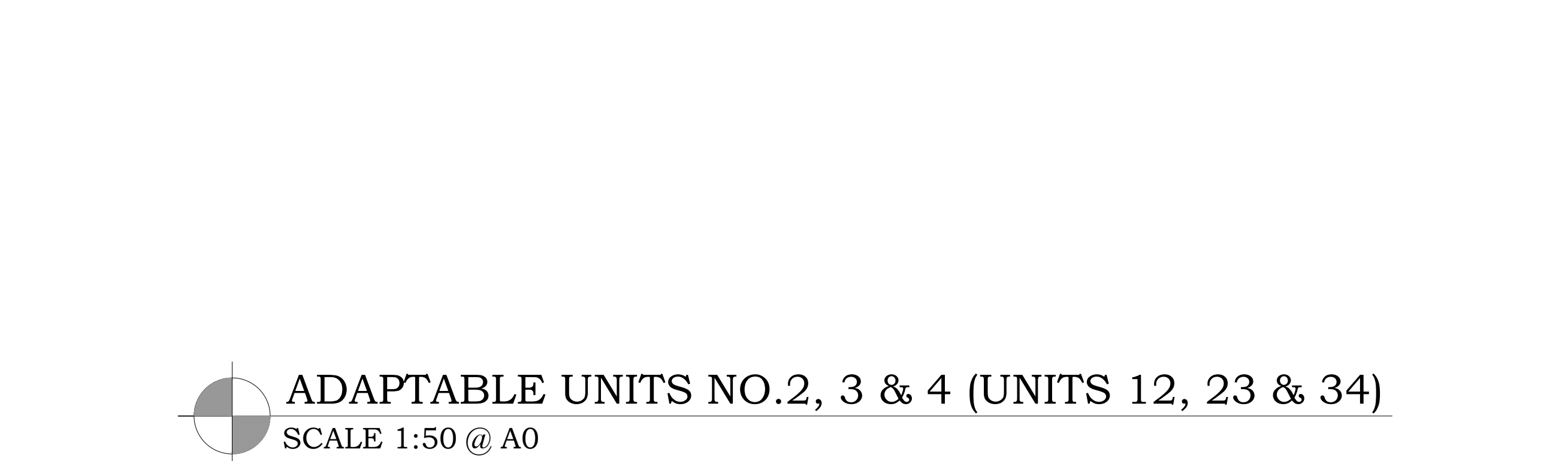
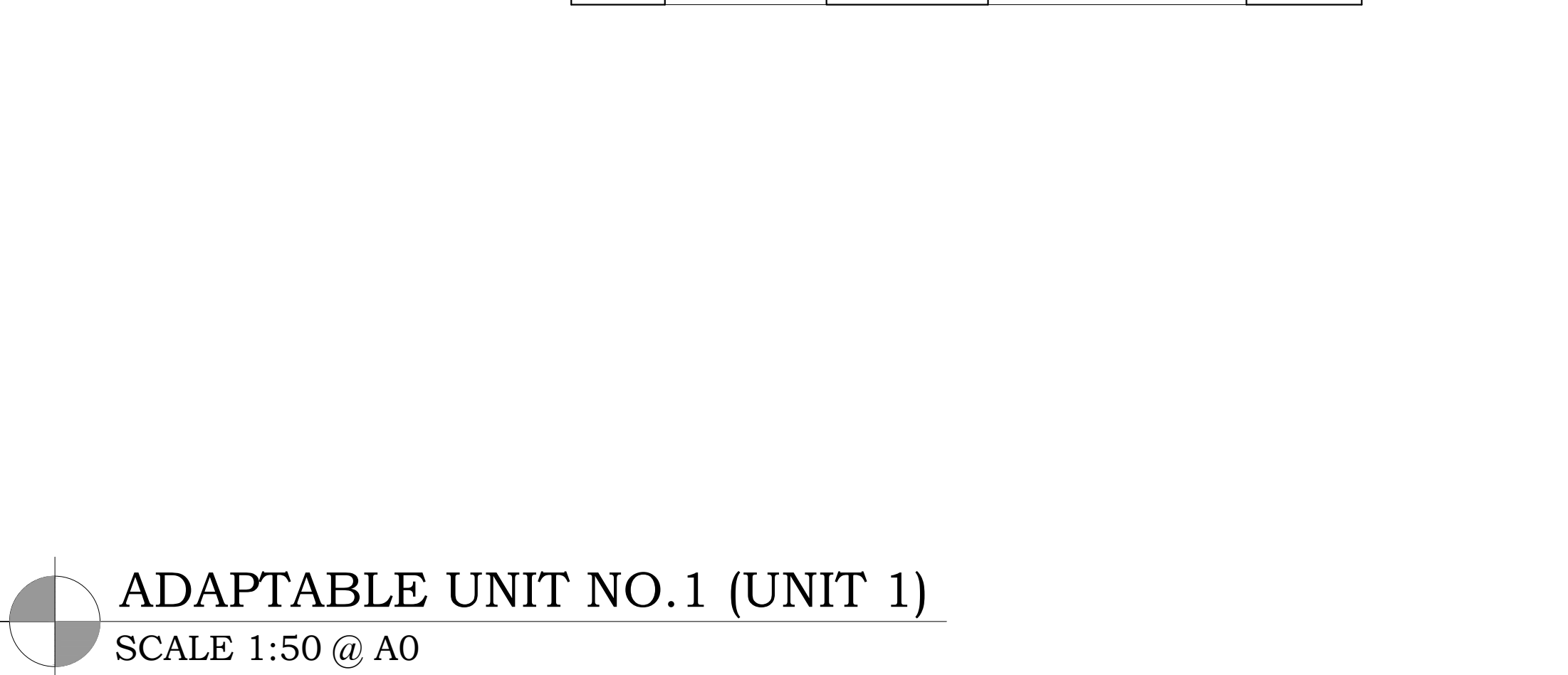
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Chartered Architect No 6003

Job:
RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
**SECTION A-A',
SECTION B-B &
SECTION C-C'**
North point:

Scale: 1:100 @ A0
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REV	AMENDMENTS	DATE
A	Profile of excavations has been updated to reflect changes to the south eastern corner of building	30.05.11



SEDIMENT AND EROSION CONTROL NOTES

Sediment and erosion control shall be effectively maintained at all times during the course of construction as well as immediately after storm events and shall be repaired or replaced such that the barriers at the site are fully functional at all times and shall not be removed until the site has been stabilised or landscaped to the principal's satisfaction.

The contractor shall ensure that no spoil or fill encroaches upon adjacent areas for the duration of works.

The contractor shall ensure that both inlets and drains receiving stormwater shall be protected at all times during development. Kerb inlet sediment traps shall be installed along the immediate vicinity along Pacific Hwy

Sediment fencing shall be secured by post where metal site posts are used plastic safety caps shall be used at 2 metre intervals with geotextile fabric embedded at 200mm into soil.

All topsoil stripped from the site and stockpiled so it does not interfere with drainage lines and stormwater pipes and will be suitably covered with an impervious membrane material and secured by sediment fencing.

Subsoil drainage shall be provided to all retaining walls & embankments, with the lowest being no less than 100mm above the ground surface.

All activities that have the potential to pollute must comply with the requirements of the Protection Of The Environment Operations Act 1997 (POEO Act 1997)

Excavation of the site shall be limited to the immediate construction area

All vegetation not in the immediate works area shall be retained

Any topsoil stripped from the site shall be stockpiled at the site for re-use (for example to landscape the site). The stockpile shall be located away from any stormwater flowpath and protected from erosion

Waste (including skip bins) and construction materials, equipment and sediment barriers shall at no times be placed in public walkways, verges, Council roads or road reserves unless a permit has been obtained from Council, the prescribed fee has been paid to Council and the materials are stored subject to public liability insurance cover to the order of \$20 Million.

Erosion & sediment control barriers shall be in place prior to the commencement of any earth works at the site.

Erosion & sediment control barriers shall be emptied when not more than 40% capacity has been reached

Ensure all stormwater is directed away from the excavation area at all times. However in the event that the excavation site fills with water, water shall be removed in a manner that does not increase erosion, sedimentation or pollution of drainage systems whether natural or not. Water may not be pumped out directly across disturbed soil

Any sediment spilled within the property or onto roadways shall be collected and removed with a spade and dry broom (without water) and disposed of so as to prevent further erosion and pollution of waterways. Spilled sediment should never be washed or swept into a watercourse or inlet to a stormwater system

During dry weather, where there is potential for dust movement, a light spray of water shall be applied to the site at regular intervals to minimise airborne transfer of sediment, however, the water shall not be applied in such a way as to create runoff

Sub-surface components of the site drainage system shall be installed to working order prior to the construction of any building

Following building works where large areas of soil have been exposed, the land shall be fully protected from erosion through vegetation or other soil stabilisation within 20 days of completion of building works.

Vehicle loads of waste and construction material must be covered during transportation and must comply with the POEO Act 1997 and the Road Transport Act (NSW) 1999

Stripping and excavation of the site shall not commence until such time as all necessary approvals have been obtained.

Prior to the installation of any roof materials on a building, all necessary gutters and downpipes must be fixed and connected to the approved sub-surface drainage system.

Unless specifically required to carry out the plans, stripping of the site shall be staged and the site shall not be wholly stripped at any one time.

The stormwater disposal system shall be installed at the earliest stage possible

Excavated topsoil shall not be stockpiled at the site for any period greater than two weeks

Landscaping works or temporary stabilisation with geotextile fabric shall be implemented at the earliest stage to ensure stabilisation of the soil

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Chartered Architect No 6033

Job:
RESIDENTIAL FLAT BUILDING - 1147, 1149 PACIFIC HWY & 2 BOBBIN HEAD ROAD PYMBLE
Drawing title:
ENVIRONMENTAL SITE MANAGEMENT PLAN

North point:

Scale: 1:100 @ A0
Date: 22.07.2011
Drawn: JA
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Drawing no. SK16A

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REV	AMENDMENTS	DATE
A	- Profile of excavation has been updated to reflect changes to the south eastern corner of the building	30.05.11



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Chartered Architect No 60033

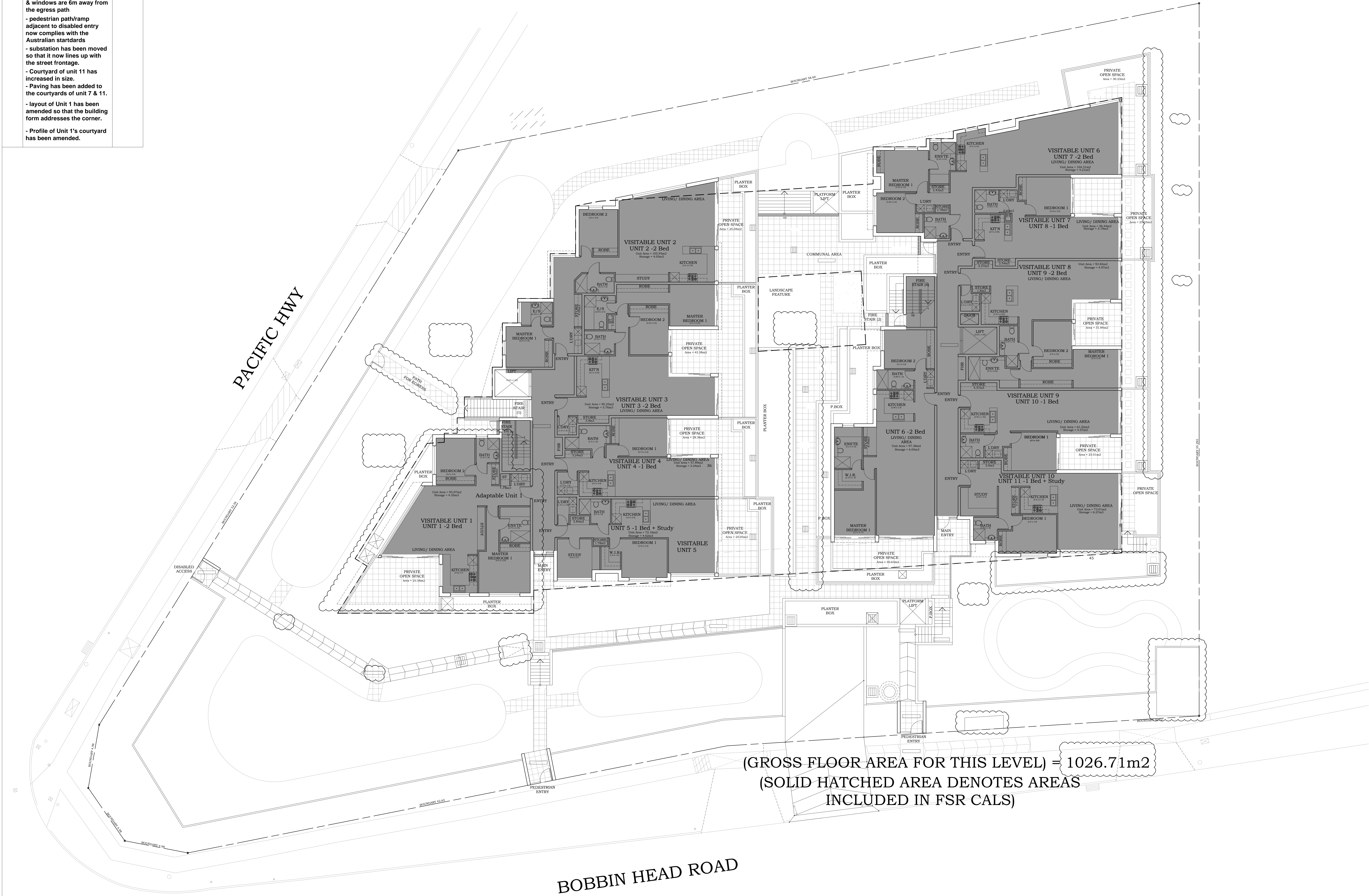
Job:
**RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE**
Drawing title:
EXCAVATION PLAN

North point:

Scale: 1:100 @ A0
Date: 22.07.2011
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Drawing no. SK18A

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REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- pedestrian path/ramp adjacent to disabled entry now complies with the Australian startdards- substation has been moved so that it now lines up with the street frontage.- Courtyard of unit 11 has increased in size.- Paving has been added to the courtyards of unit 7 & 11.- layout of Unit 1 has been amended so that the building form addresses the corner.- Profile of Unit 1's courtyard has been amended.	30.05.11



FSR COMPLIANCE DIAGRAM -GROUND FLOOR PLAN
SCALE 1:100 @ A0

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Chartered Architect No 6003

Job:
**RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE**
Drawing title:
**FSR COMPLIANCE
DIAGRAM - GROUND
FLOOR PLAN**
North point:

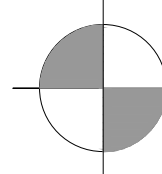
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REV	AMENDMENTS	DATE
A	- layout of Unit 12 has been amended so that the building form addresses the corner.	30.05.11

PACIFIC HWY

BOBBIN HEAD ROAD

(GROSS FLOOR AREA FOR THIS LEVEL) = 969.76m²
(SOLID HATCHED AREA DENOTES AREAS INCLUDED IN FSR CALS)



FSR COMPLIANCE DIAGRAM - FIRST FLOOR PLAN
SCALE 1:100 @ A0

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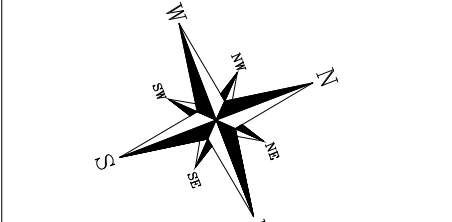
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Chartered Architect No 6003

Job:
RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:

FSR COMPLIANCE
DIAGRAM - FIRST
FLOOR PLAN

North point:



Scale: 1:100 @ A0 Date: 22.07.2011

Drawn: JA Checked: DM
Drawing no.

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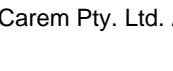
02 9867 8986

PACIFIC HWY

BOBBIN HEAD ROAD

(GROSS FLOOR AREA FOR THIS LEVEL) = 937.16m²
(SOLID HATCHED AREA DENOTES AREAS INCLUDED IN FSR CALS)

FSR COMPLIANCE DIAGRAM - SECOND FLOOR
SCALE 1:100 @ A0



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Chartered Architect No:0033


Job:

RESIDENTIAL FLAT BUILDING - 1/47, 149 PACIFIC HWY & 5 BOBBIN HEAD ROAD PYMBLE

Drawing title:

FLY COMPLIANCE DRAWING - SECOND FLOOR PLAN

North point:



Scale:

1:100 @ 22.07.2011

Drawn:

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Checked:

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Drawing no.

SK21A

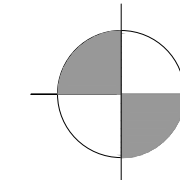
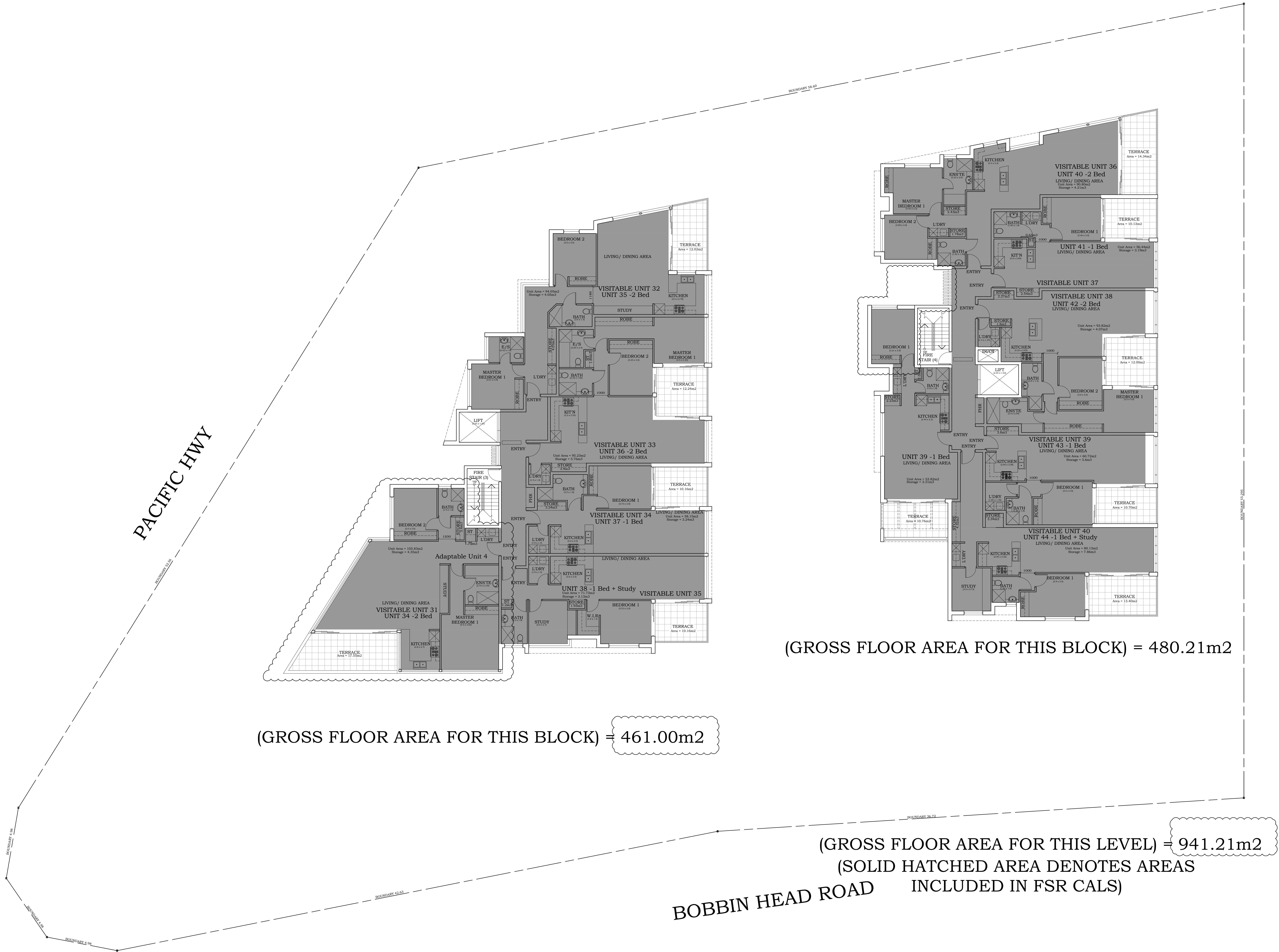
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Q1: 1/24/2011 10:11 AM

Q2: 1/24/2011 10:11 AM

REV	AMENDMENTS	DATE
A	- layout of Unit 34 has been amended so that the building form addresses the corner.	30.05.11



FSR COMPLIANCE DIAGRAM - THIRD FLOOR PLAN
SCALE 1:100 @ A0

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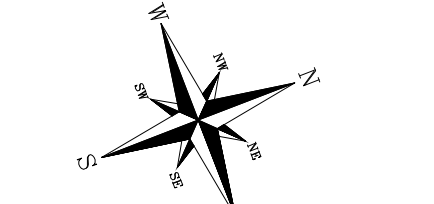
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Chartered Architect No 6003

Job:
**RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE**

Drawing title:
**FSR COMPLIANCE
DIAGRAM - THIRD
FLOOR PLAN**

North point:



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REV	AMENDMENTS	DATE
A	- layout of terrace to Unit 45 has been amended to reflect changes made below.	30.05.11



FSR COMPLIANCE DIAGRAM - PENTHOUSE LEVEL
SCALE 1:100 @ A0

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Job:

RESIDENTIAL FLAT

BUILDING: - 1147, 1149

PACIFIC HWY & 2 BOBBIN

HEAD ROAD PYMBLE

Drawing title:

FSR COMPLIANCE

DIAGRAM - PENTHOUSE

LEVEL

North point:

Scale:

1:100 @ A0

Date:

22.07.2011

Drawn:

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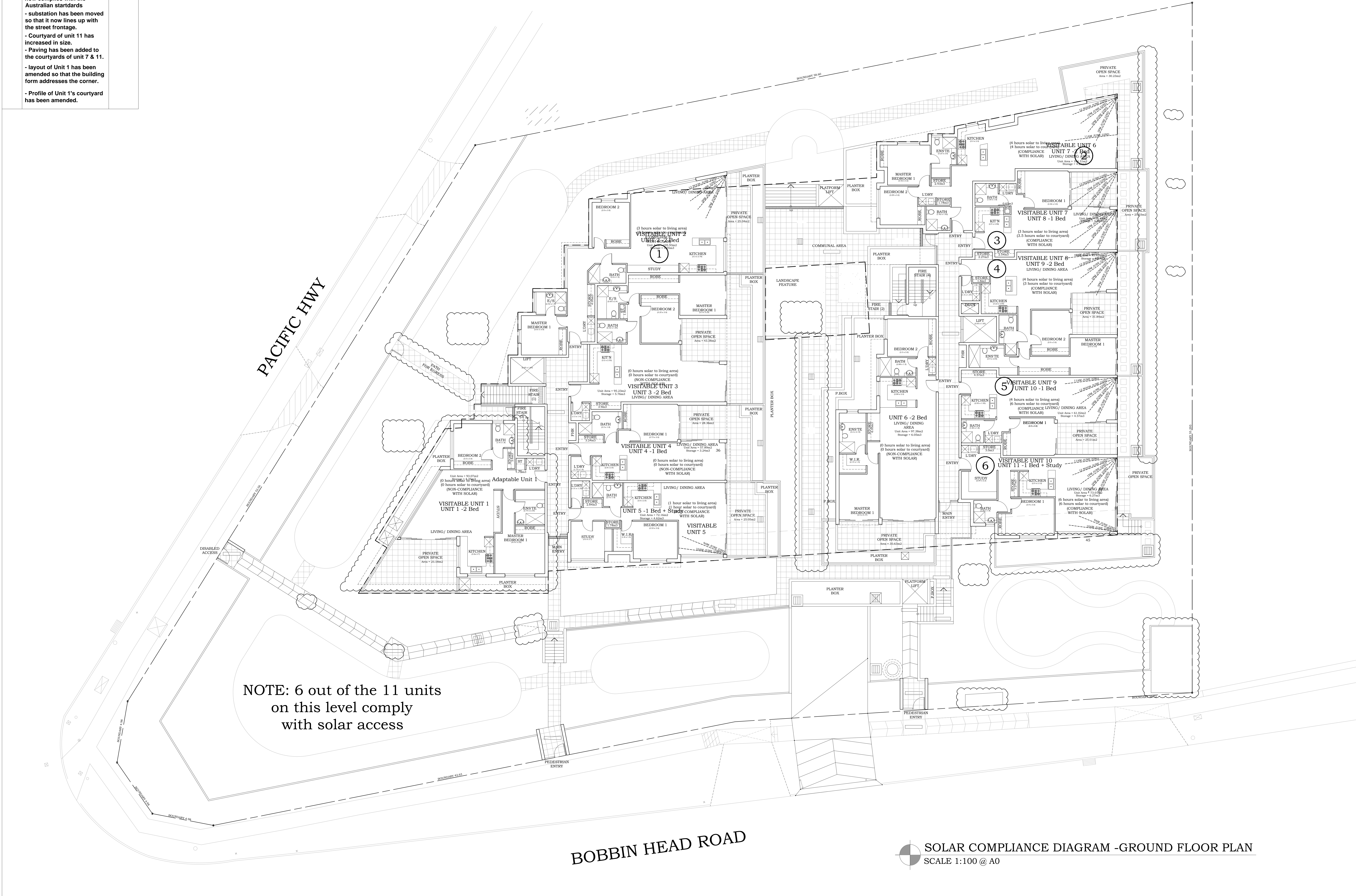
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REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- pedestrian path/ramp adjacent to disabled entry now complies with the Australian startdards- substation has been moved so that it now lines up with the street frontage.- Courtyard of unit 11 has increased in size.- Paving has been added to the courtyards of unit 7 & 11.- layout of Unit 1 has been amended so that the building form addresses the corner.- Profile of Unit 1's courtyard has been amended.	30.05.11



NOTE: 6 out of the 11 units
on this level comply
with solar access

BOBBIN HEAD ROAD

SOLAR COMPLIANCE DIAGRAM -GROUND FLOOR PLAN
SCALE 1:100 @ A0

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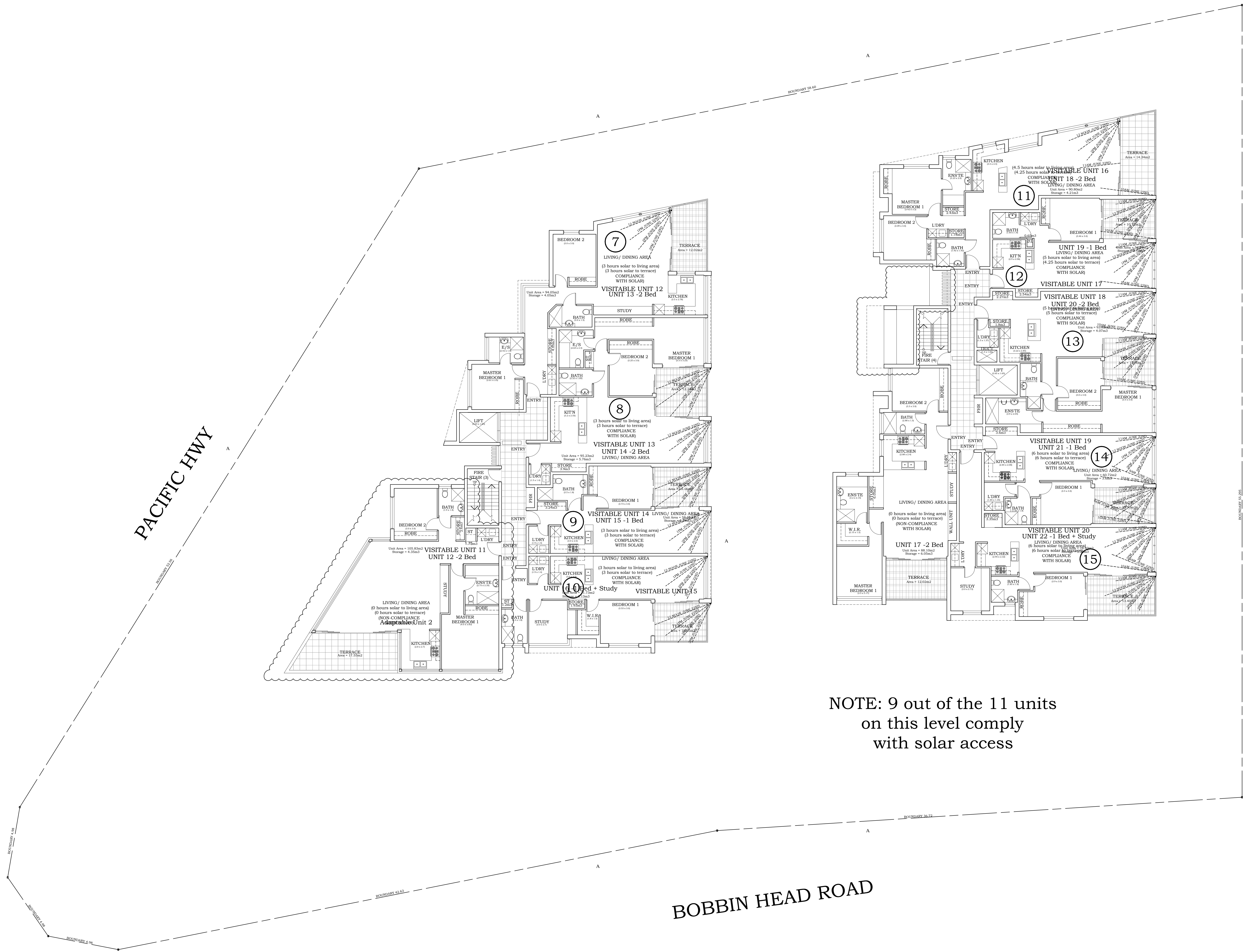
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Job:
RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
SOLAR COMPLIANCE
DIAGRAM - GROUND
FLOOR PLAN
North point:

Scale: 1:100 @ A0
Date: 22.07.2011
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REV	AMENDMENTS	DATE
A	- layout of Unit 12 has been amended so that the building form addresses the corner.	30.05.11



SOLAR COMPLIANCE DIAGRAM - FIRST FLOOR PLAN
SCALE 1:100 @ A0

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Chartered Architect No 6003

Job:

RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
SOLAR COMPLIANCE
DIAGRAM - FIRST
FLOOR PLAN
North point:

Scale:

1:100 @ A0

Date:

22.07.2011

Drawn:

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Checked:

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Drawing no.

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PACIFIC HWY

BOBBIN HEAD ROAD

NOTE: 9 out of the 11 units on this level comply with solar access

BOUNDARY 36.72

BOUNDARY 36.72

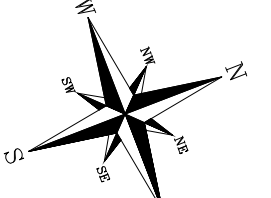


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Chartered Architect No 6033

Job: **RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE**
Drawing title:

SOLAR COMPLIANCE DIAGRAM - SECOND FLOOR PLAN

North point:



Scale: _____ Date: _____

1:100 @ A0 22.07.2011

Drawn: _____ Checked: _____

JA DM
Drawing no.

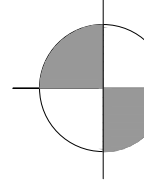
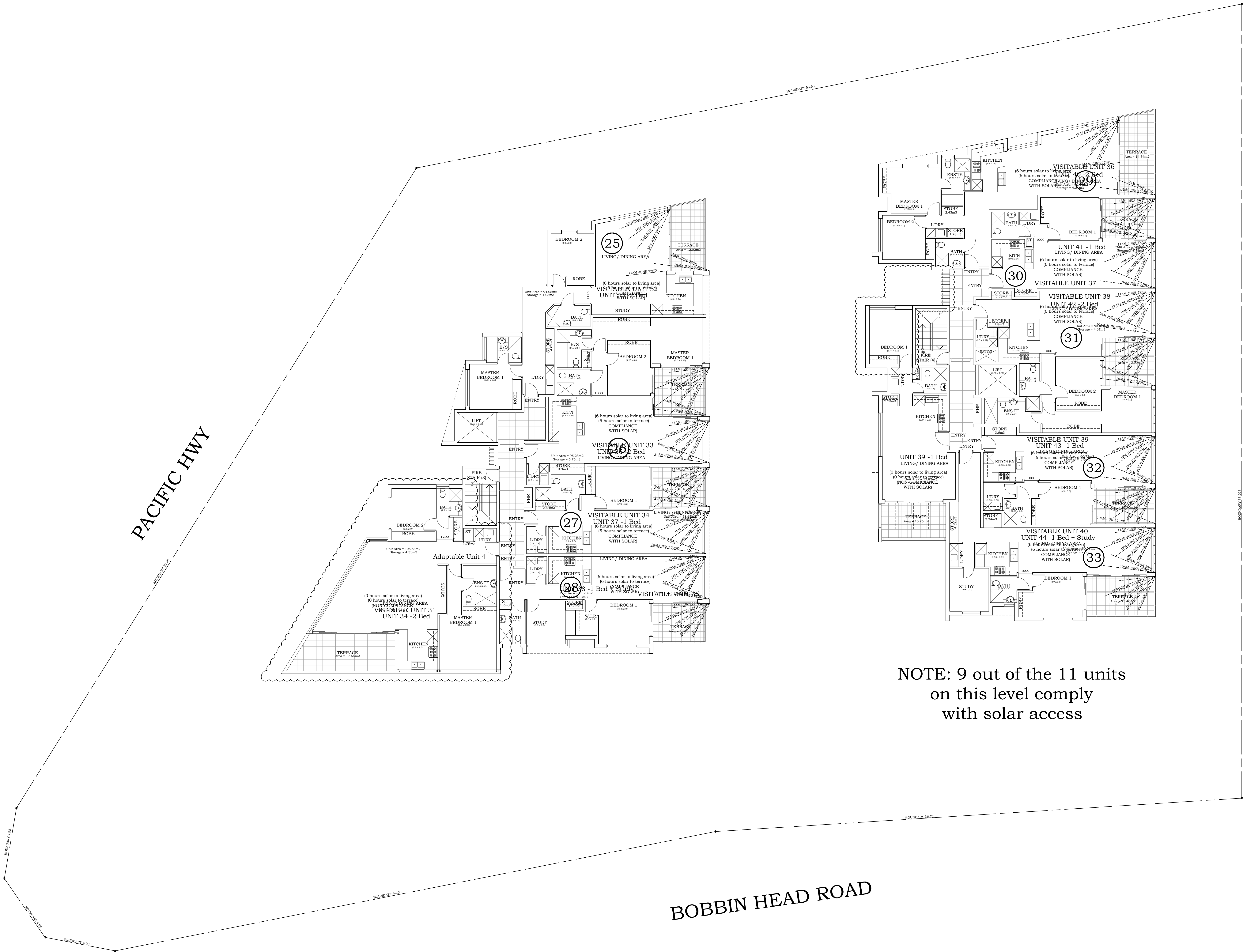
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REV	AMENDMENTS	DATE
A	- layout of Unit 34 has been amended so that the building form addresses the corner.	30.05.11



SOLAR COMPLIANCE DIAGRAM - THIRD FLOOR PLAN
SCALE 1:100 @ A0

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RESIDENTIAL FLAT

BUILDING: - 1147, 1149

PACIFIC HWY & 2 BOBBIN

HEAD ROAD PYMBLE

Drawing title:

SOLAR COMPLIANCE

DIAGRAM - THIRD

FLOOR PLAN

North point:

Scale:

1:100 @ A0

Date:

22.07.2011

Drawn:

JA

Checked:

DM

Drawing no.

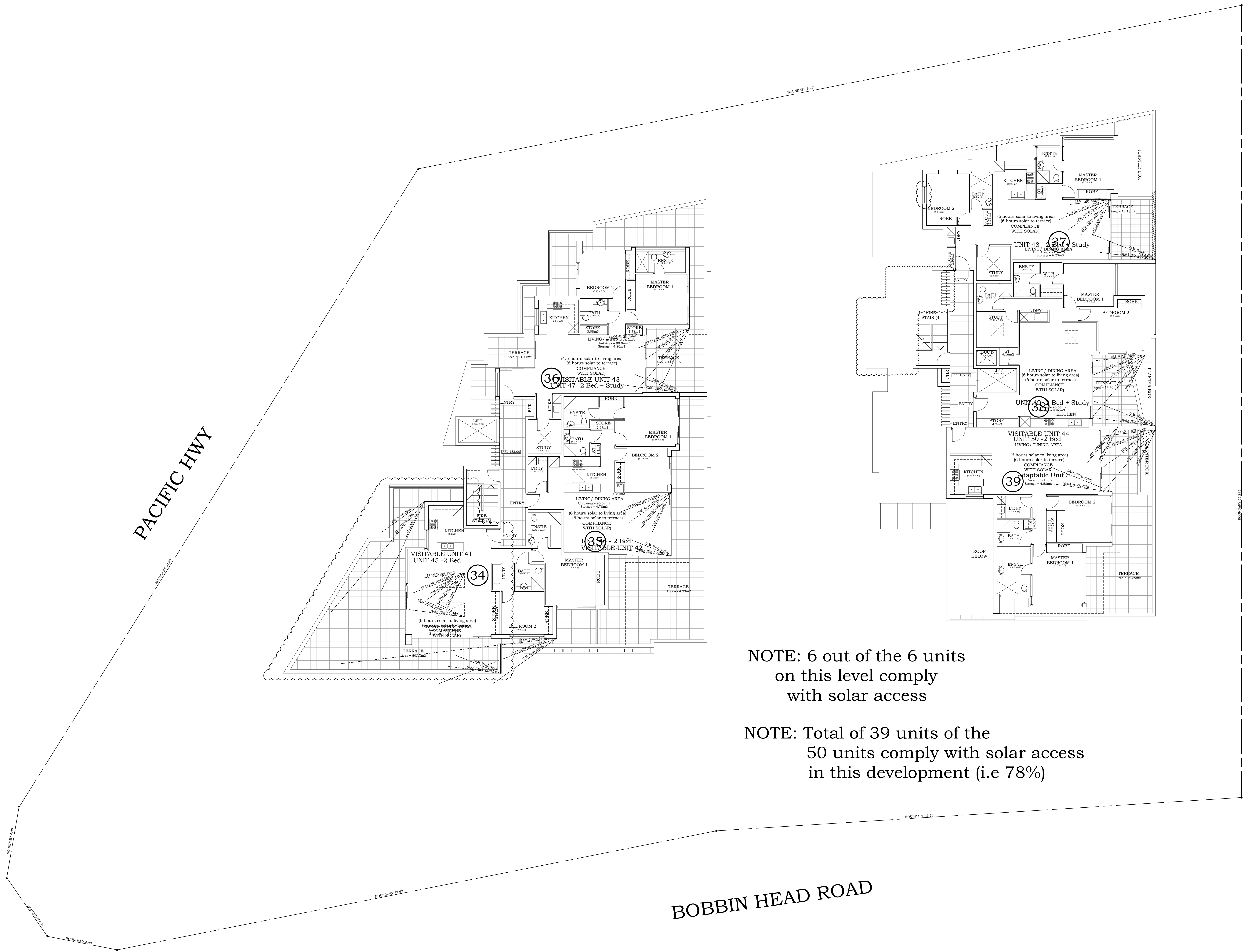
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REV	AMENDMENTS	DATE
A	- layout of terrace to Unit 45 has been amended to reflect changes made below.	30.05.11



NOTE: 6 out of the 6 units
on this level comply
with solar access

NOTE: Total of 39 units of the
50 units comply with solar access
in this development (i.e 78%)

SOLAR COMPLIANCE DIAGRAM - PENTHOUSE LEVEL
SCALE 1:100 @ A0

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Chartered Architect No 60033

Job:

RESIDENTIAL FLAT

BUILDING: - 1147, 1149

PACIFIC HWY & 2 BOBBIN

HEAD ROAD PYMBLE

Drawing title:

SOLAR COMPLIANCE

DIAGRAM - PENTHOUSE

LEVEL

North point:

Scale:

1:100 @ A0

Date:

22.07.2011

Drawn:

JA

Checked:

DM

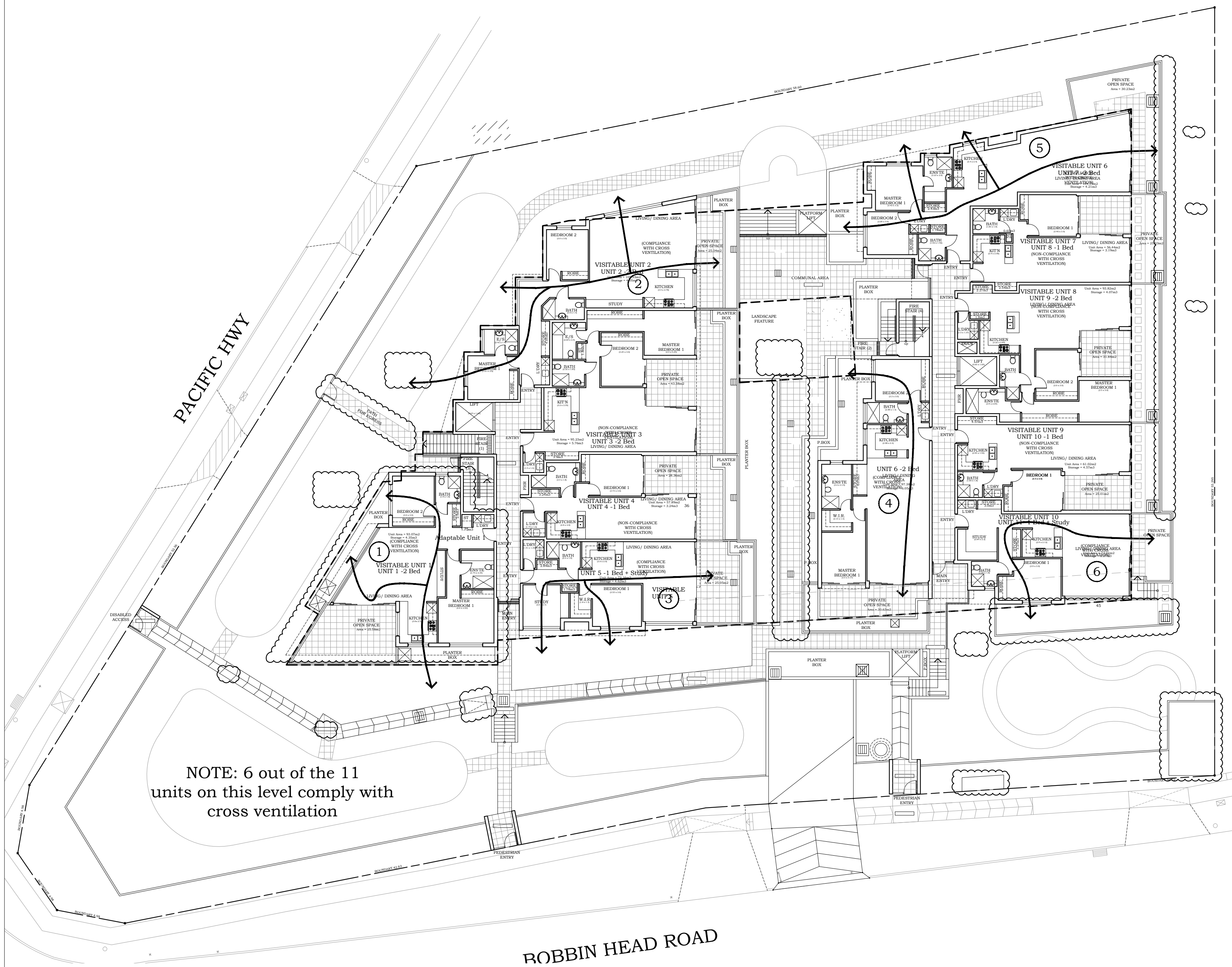
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SK28A

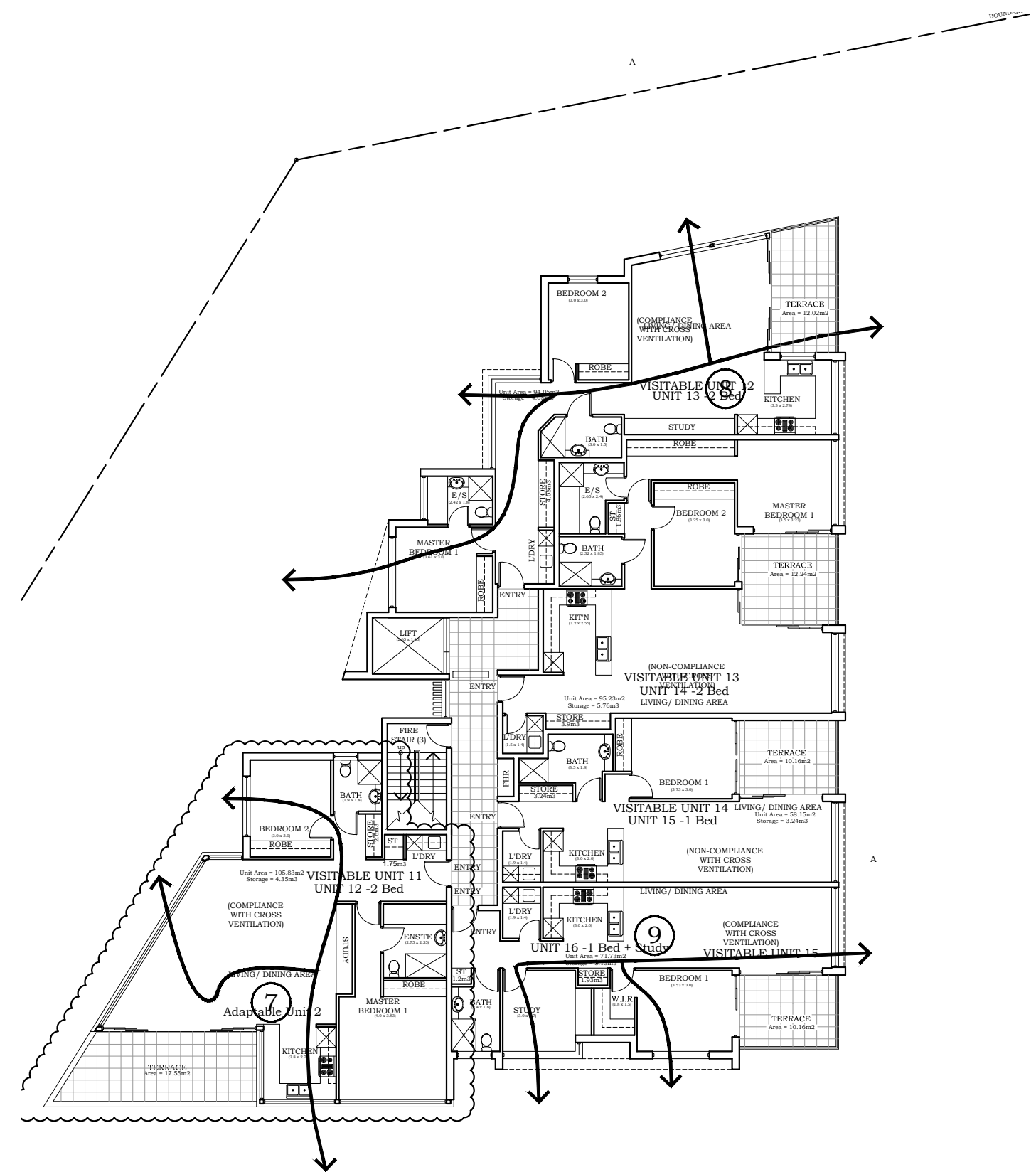
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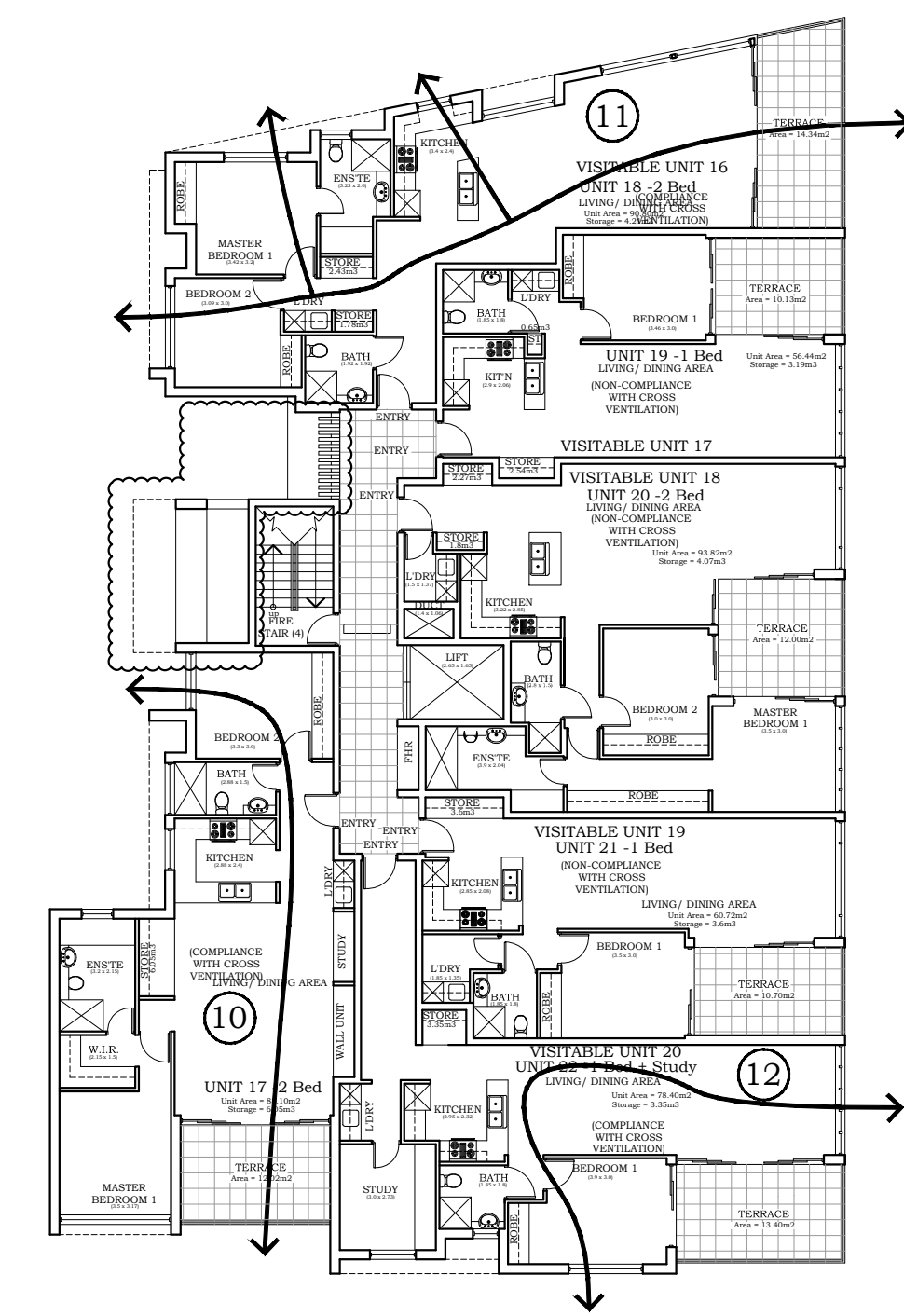
© 11 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100



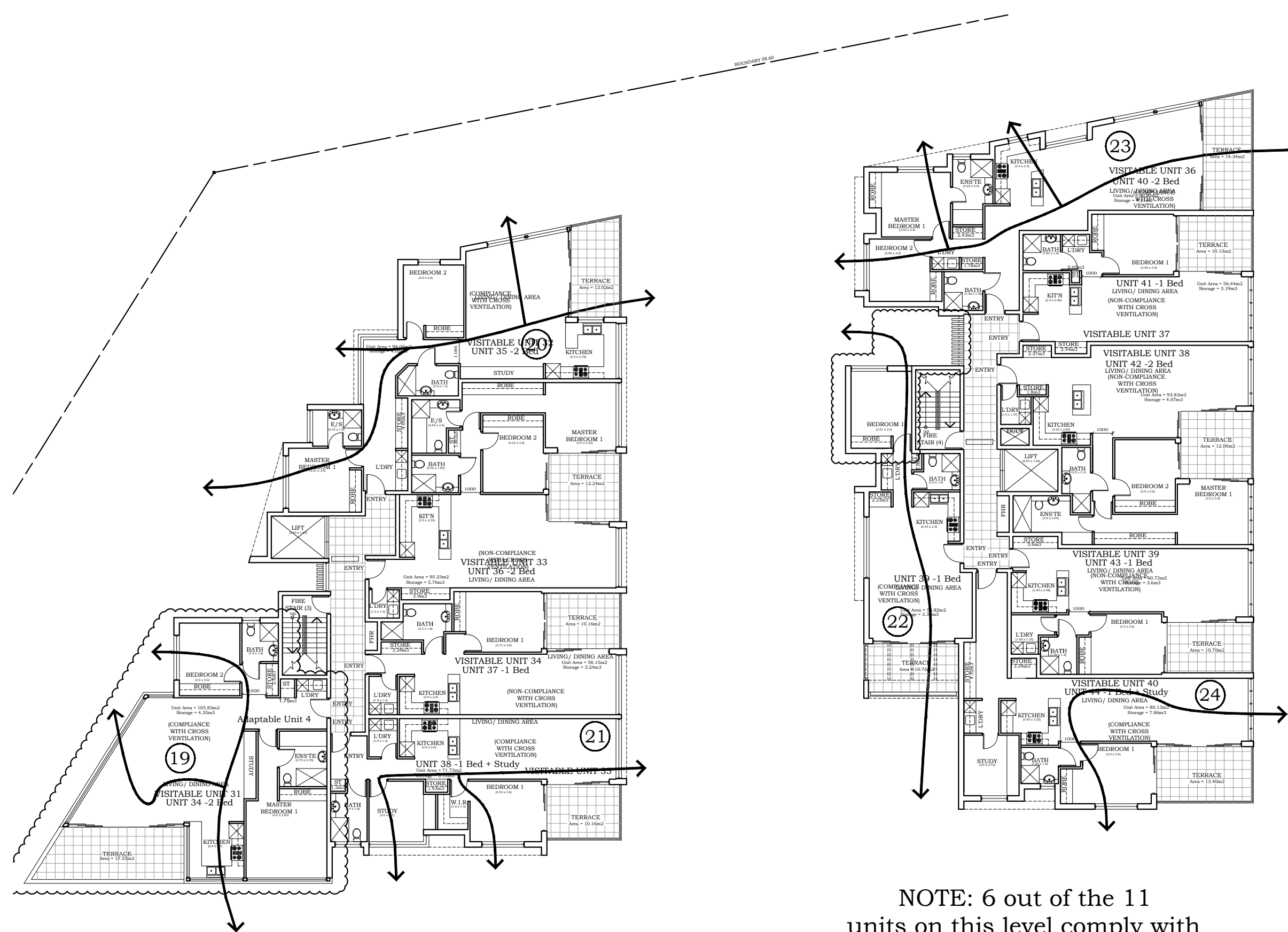
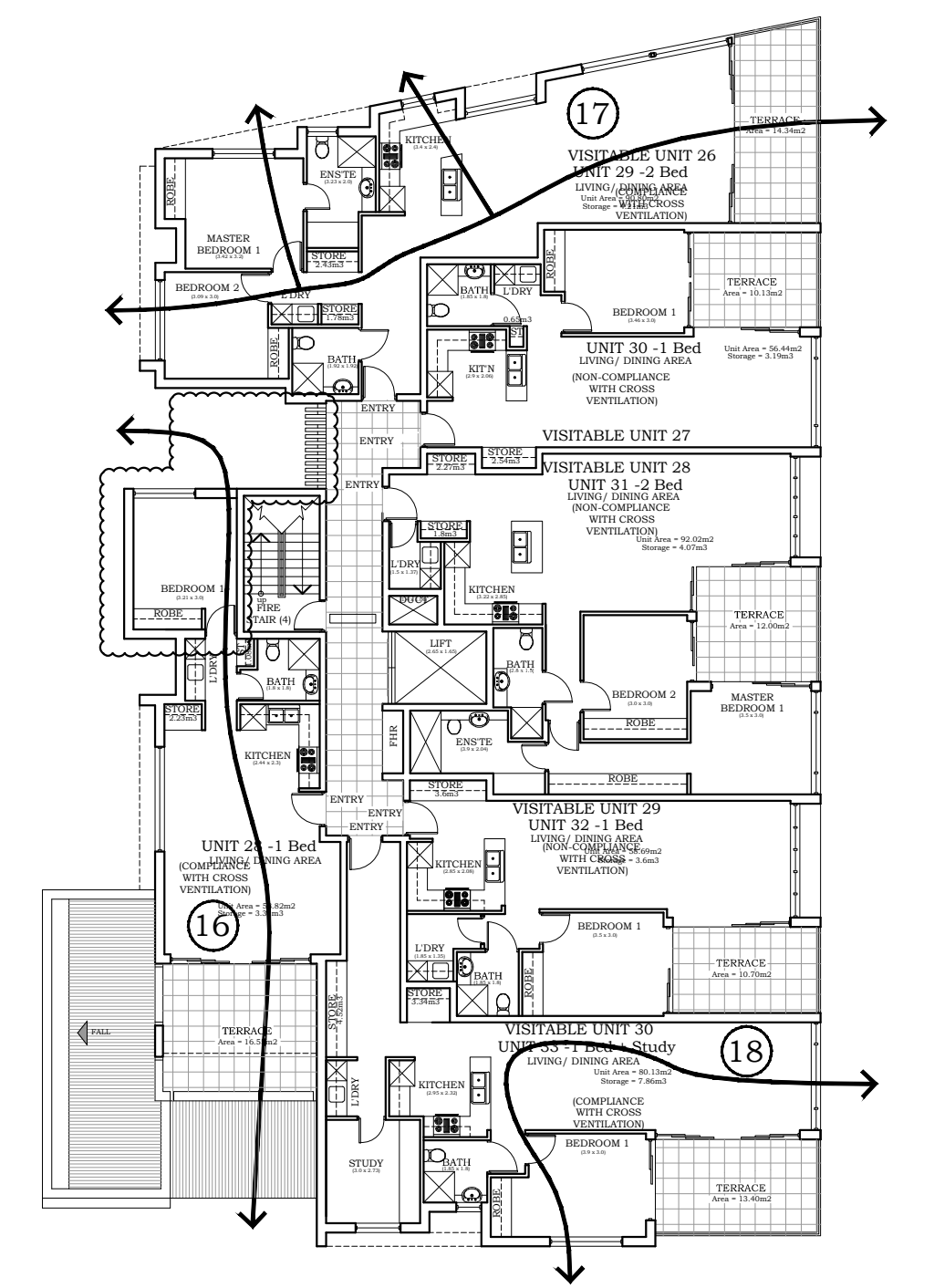
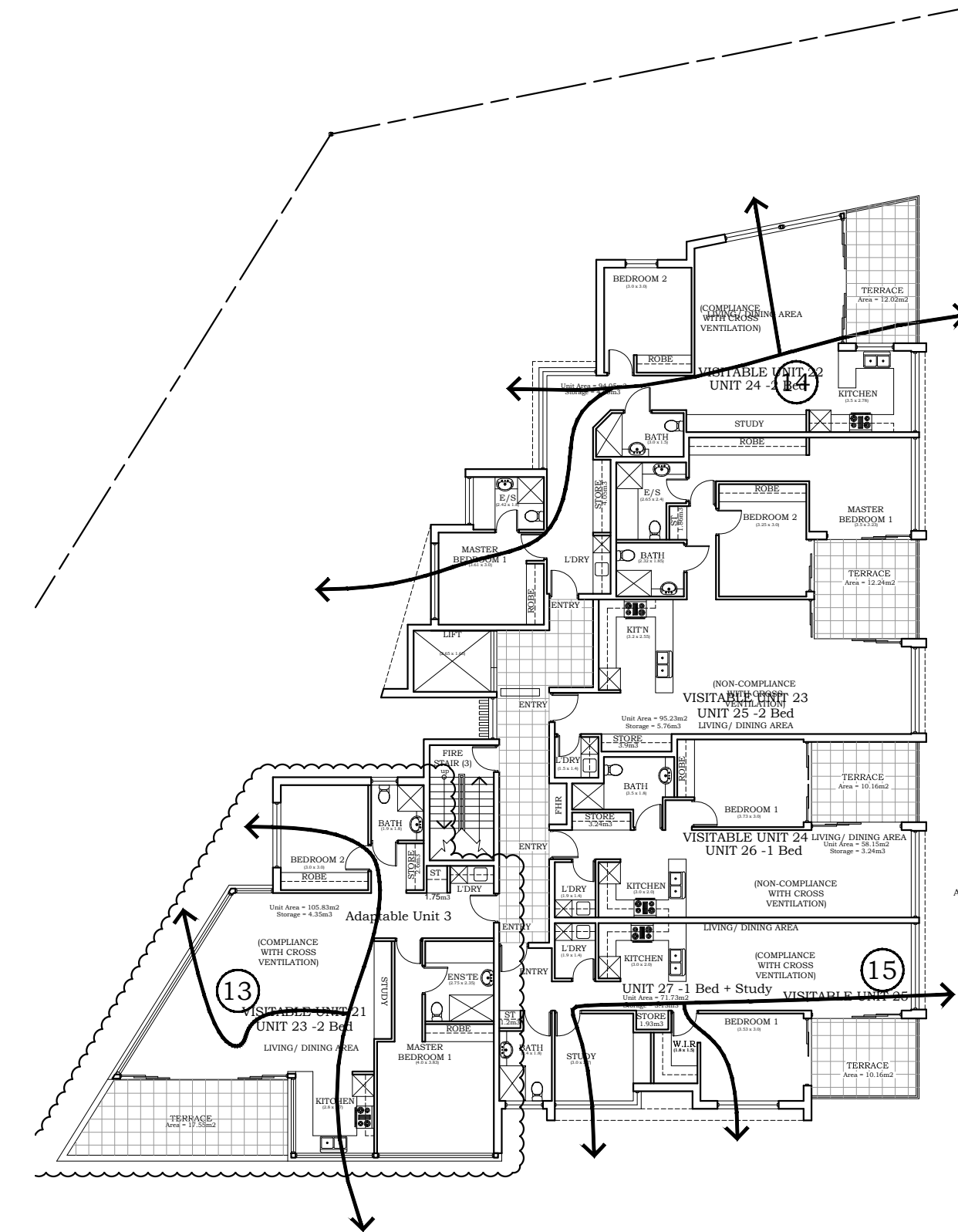
CROSS VENTILATION DIAGRAM - GROUND FLOOR PLAN
SCALE 1:200 @ A0



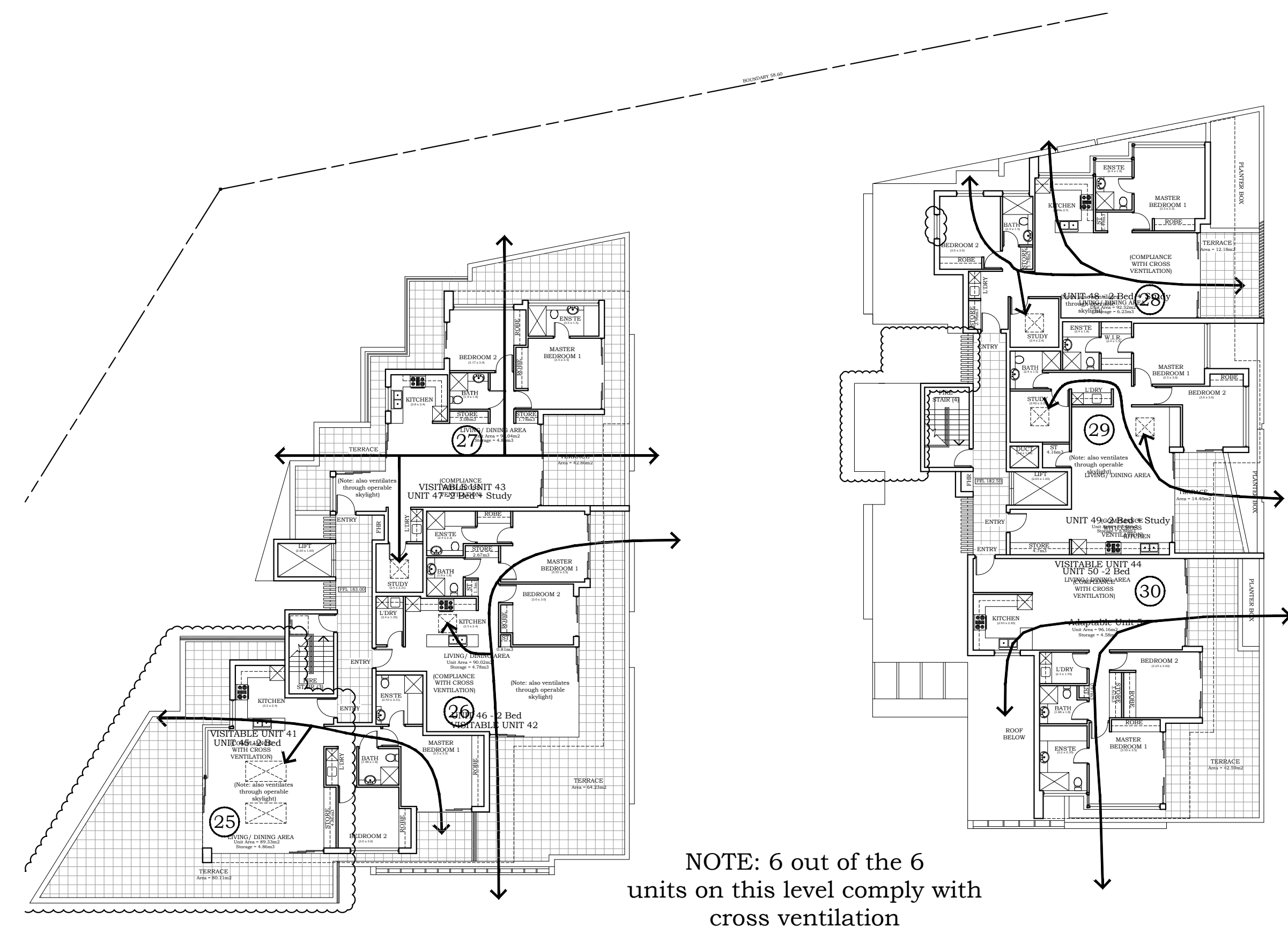
CROSS VENTILATION DIAGRAM - FIRST FLOOR PLAN
SCALE 1:200 @ A0



CROSS VENTILATION DIAGRAM - SECOND FLOOR PLAN
SCALE 1:200 @ A0



CROSS VENTILATION DIAGRAM - THIRD FLOOR PLAN
SCALE 1:200 @ A0



CROSS VENTILATION DIAGRAM - PENTHOUSE LEVEL
SCALE 1:200 @ A0

REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- pedestrian path/ramp adjacent to disabled entry now complies with the Australian standards- substation has been moved so that it now lines up with the street frontage.- Courtyard of unit 11 has increased in size.- Paving has been added to the courtyards of unit 7 & 11.- Stepping stones have been removed from the private courtyard of unit 1	30.05.11

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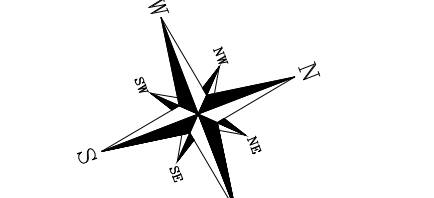
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Job:
RESIDENTIAL FLAT
BUILDING - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE

Drawing title:
CROSS VENTILATION
COMPLIANCE
DIAGRAMS

North point:

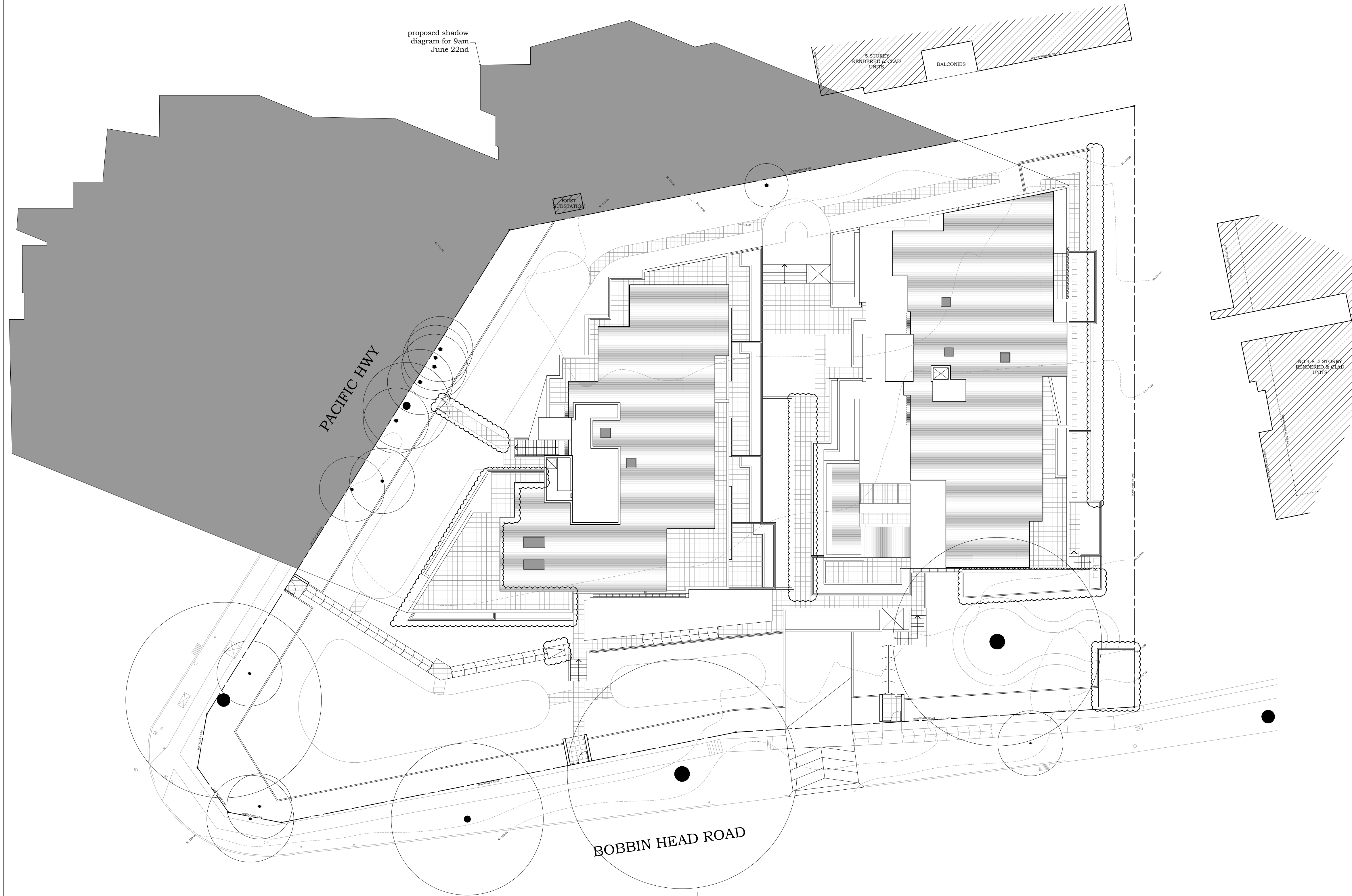


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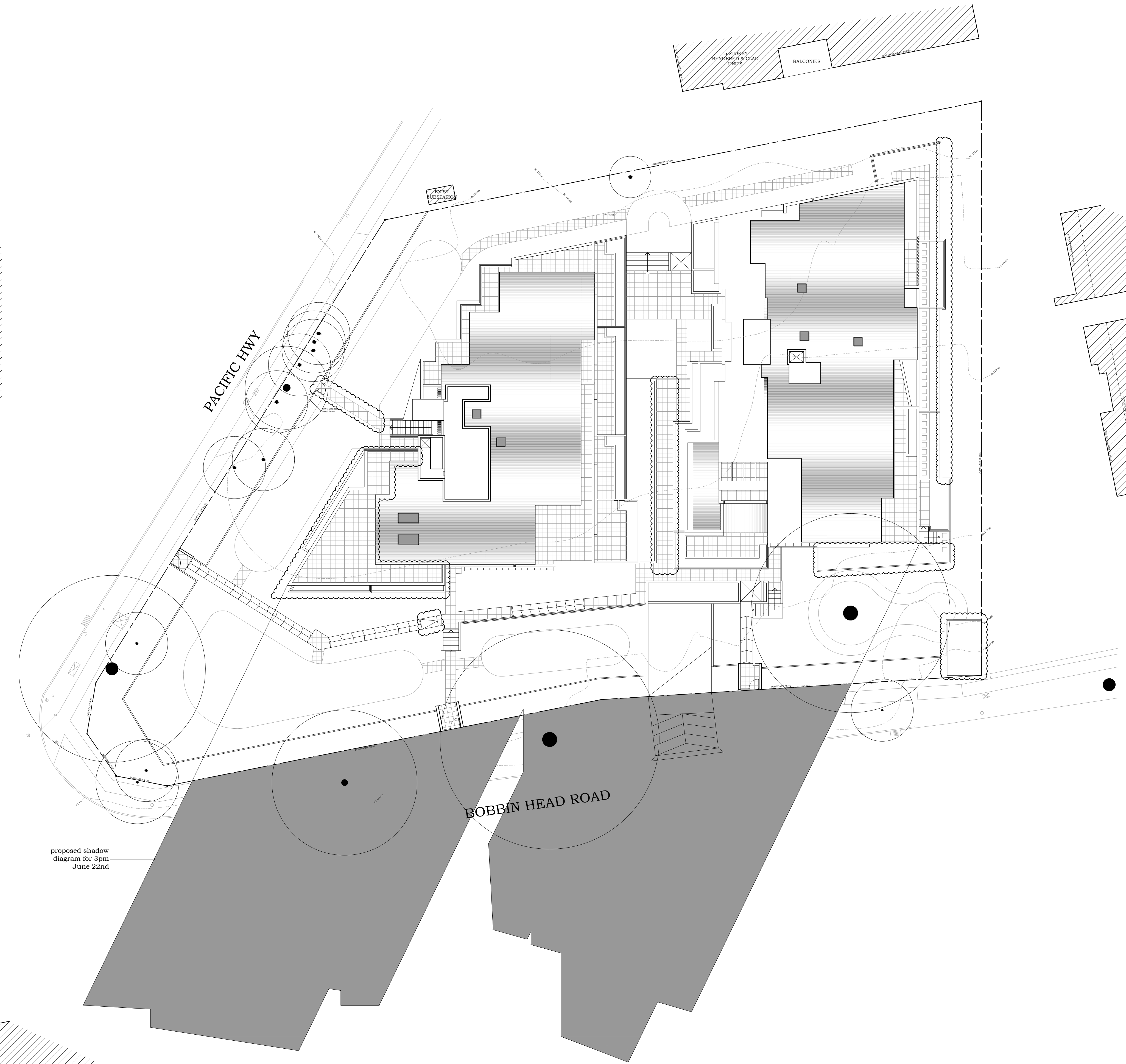
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Drawing no.

SK29A

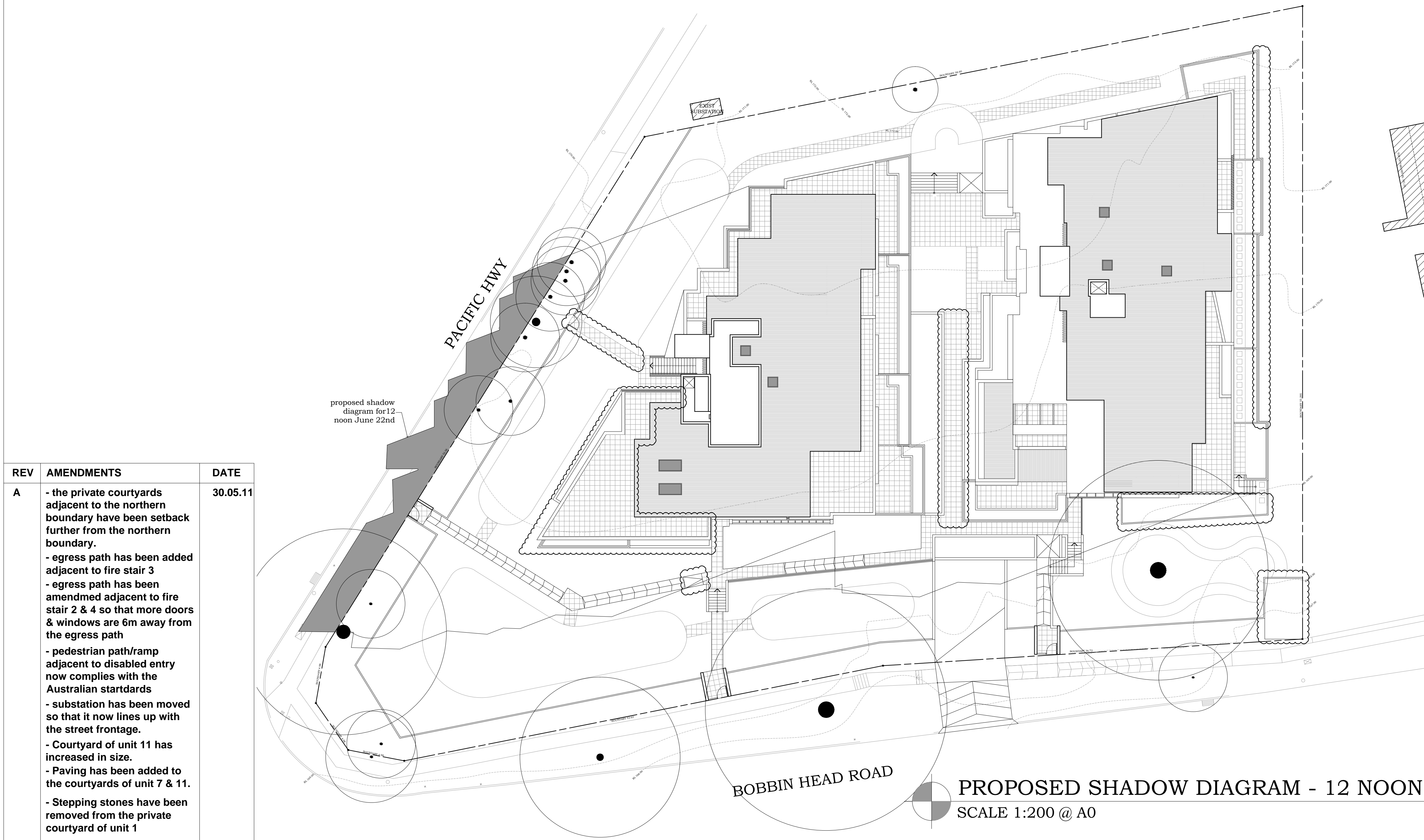
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PROPOSED SHADOW DIAGRAM - 9AM JUNE 22ND
SCALE 1:200 @ A0



PROPOSED SHADOW DIAGRAM - 3PM JUNE 22ND
SCALE 1:200 @ A0



PROPOSED SHADOW DIAGRAM - 12 NOON JUNE 22ND
SCALE 1:200 @ A0

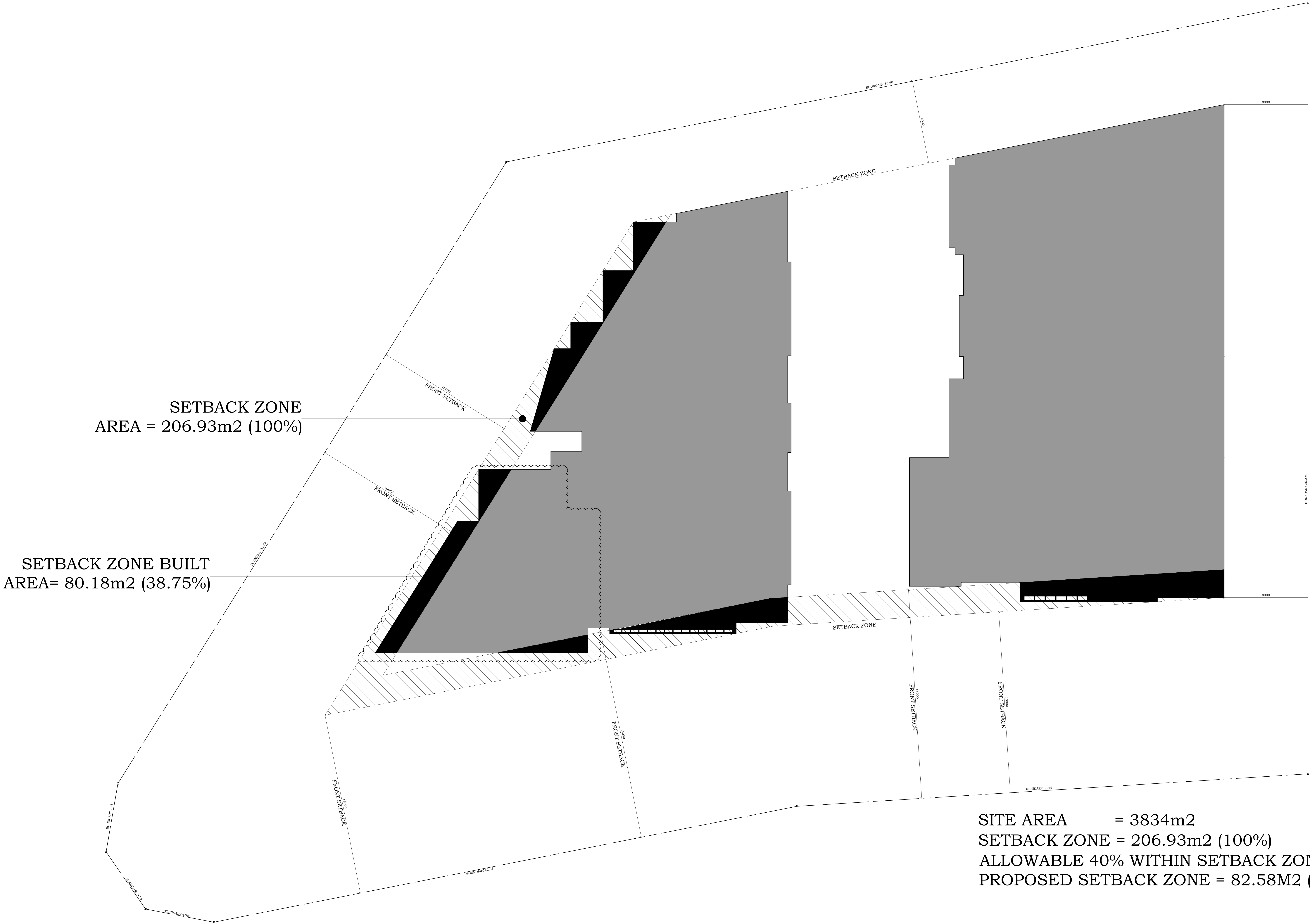
REV	AMENDMENTS	DATE
A	<ul style="list-style-type: none">- the private courtyards adjacent to the northern boundary have been setback further from the northern boundary.- egress path has been added adjacent to fire stair 3- egress path has been amended adjacent to fire stair 2 & 4 so that more doors & windows are 6m away from the egress path- pedestrian path/ramp adjacent to disabled entry now complies with the Australian startdards- substation has been moved so that it now lines up with the street frontage.- Courtyard of unit 11 has increased in size.- Paving has been added to the courtyards of unit 7 & 11.- Stepping stones have been removed from the private courtyard of unit 1	30.05.11

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Job:
**RESIDENTIAL FLAT
BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE**
Drawing title:
**PROPOSED SHADOW
DIAGRAMS - 9AM, 3PM
& 12 NOON JUNE 22ND**
North point:

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REV	AMENDMENTS	DATE
A	- Setback zone calculation has been updated to reflect changes to the south eastern corner of building	30.05.11



SETBACK ZONE AREA CALCULATION DIAGRAM
SCALE 1:100 @ A0

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BUILDING: - 1147, 1149
PACIFIC HWY & 2 BOBBIN
HEAD ROAD PYMBLE
Drawing title:
SETBACK ZONE AREA
CALCULATION
DIAGRAM
North point:

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